

Meeting Date: January 4, 2024

Agenda Item Number:

(City Secretary's Use Only)

Department: Development Services

Prepared by: Cynthia Jolly

Budgeted Amount: \$ 0

Date Prepared: December 14, 2023

Exhibits Application, Site Dev. Plans,
City Engineers Review/Approval Letters
Public Hearing Notice

Subject

Site development plan: Jonestown Water Supply Corp., Water Treatment Plant, 4900 Destination Way

Recommendation

Consider, discuss, and take any action necessary regarding a request by Jonestown Water Supply Corporation for approval of a site development plan to construct a water treatment plant owned and operated by Jonestown Water Supply Corporation to be located at 4900 Destination Way, Property ID: 953918, Lot 1, Block A, Jonestown Water Supply Corporation, Jonestown, Texas.

Discussion

The site development plans are attached along with the approval letter from the City Engineer. LCRA permits are also enclosed. On the Site Plans page 6, the tree survey list has 12 protected live oaks with a note they are not being removed. Screening is required between residential and nonresidential use.

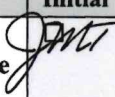


Notice of public hearing for this application was published 12/14/2023, and the letters for notice of public hearing were mailed to neighboring property owners on 12/14/2023.

Approval By

	<i>Signature</i>	<i>Date</i>
Department Head	<u>C. Jolly</u>	<u>12/14/2023</u>
City Administrator	<u>[Signature]</u>	<u>12/14/23</u>

City of Jonestown

COMMERCIAL SITE DEVELOPMENT APPLICATION

PROJECT INFORMATION			
Project Physical Address 4900 Destination Way, Jonestown, TX 78645	Legal Description of Property Jonestown Water Supply Corporation Block A Lot 1	Zone Classification GUI	
Proposed Business Type Water Treatment Plant		Proposed Business Name Jonestown Water Supply Corporation	
CONTACT INFO			
Applicant's Name Jonestown Water Supply Corporation		Contact Number (512) 267.7144	
Email john@jonestownwsc.org			
Mailing Address 10700 Crestview Drive		City Jonestown	State Texas
		Zip 78645	
Engineer/Land Planner's Name Dennis Lozano, P.E. - Malone/Wheeler, Inc.		Contact Number (512) 899.0601	
Email dennisl@malonewheeler.com			
Mailing Address 5113 Southwest Parkway, Suite 260		City Austin	State Texas
		Zip 78735	
Property Owner's Name Jonestown Water Supply Corporation		Contact Number (512) 267.7144	
Email john@jonestownwsc.org			
Mailing Address 10700 Crestview Drive		City Jonestown	State Texas
		Zip 78645	
PROCESS AND GUIDELINES			
<p>Prior to the development or improvement of any property within the corporate limits or the extraterritorial jurisdiction of the city, two complete sets of development plats, containing all of the items outlined in section 3.08.047 of this article, shall be submitted to the commission and the council for their approval, along with the following:</p> <ol style="list-style-type: none"> (1) Completed application forms and the payment of all applicable fees. (2) A letter requesting any variances from the provisions of this article. (3) Any attendant documents needed to supplement the information provided on the development plat. <p>The commission and council, after holding public hearings in accordance with city ordinances and codes, shall act on the request for development plat approval. Zoning of the tract, if applicable, that shall permit the uses proposed by the development plat, or any pending zoning amendment necessary to permit the proposed uses, shall have been adopted by the council prior to approval of the development plat.</p> <p>Development plat approval by the city council, as authorized herein, shall be evidenced by the authorized signature of the mayor, city administrator and city engineer on the development plat. Approval by the city council shall become effective immediately.</p> <p>All improvements shown in the approved development plat shall be constructed pursuant to and in compliance with the approved plans, except as otherwise specifically approved. Specific approvals required from other agencies shall be obtained by the owner.</p> <p>Approval of a development plat shall authorize a developer to begin constructing site improvements. However, no building shall be constructed until a building permit, if required, has been issued. Development plat approval pursuant to this division shall run with the land and shall continue to be valid upon a change of ownership of the site or structure which was the subject of the application.</p>			
VERIFICATION AND SIGNATURES			Initial
<p>I verify that I have included all the documents required as described in the checklist below. Submittal of an application is evidence of the property owner's consent for city employees, officials, and representatives to enter the subject property to perform reviews and inspections required by the City's Code of Ordinances.</p>			
 _____ Signature of Applicant	John M. Tichi _____ Printed Name	_____ Date	
 _____ Signature of Property Owner	John M. Tichi _____ Printed Name	_____ Date	

December 12, 2023

Cynthia Jolly
Development Services Coordinator
City of Jonestown
P.O. Box 5023
Jonestown, Texas 78645

Re: Jonestown Water Supply Corp- Destination Way WTP
Project #23-P-358-SD
Site Plan Submittal #3

Dear Ms. Jolly:


We have performed a review of the above referenced site plan in accordance with the Jonestown, Texas Ordinance Chapters 3 and 14.

All Comments have been addressed and all documentation appears to be in compliance with the ordinances of the City of Jonestown. We recommend approval of the Improvement Plans and construction of the site in coordination with the City of Jonestown.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute a verification of all data, information, and calculations supplied by the applicant. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

This completes our review comments on the referenced site. Please call if you should have any questions regarding this review.

Sincerely,



A.J. Girondo III, P.E.
AJG/s



LCRA DEVELOPMENT PERMIT
Permit No. 2023-5153

Lower Colorado River Authority (LCRA) hereby authorizes:

Jonestown Water Supply Corporation
10700 Crestview Dr.
JONESTOWN, TX 78645

Hereinafter called Permittee

To: Construct Development and construction of a drinking water treatment plant that creates less than 15% gross impervious cover of the total area.

At: 4900 Destination Way, Jonestown, TX 78645

in accordance with the plans, drawings, maps, correspondence and/or other materials which are attached hereto or referenced herein and made a part of this permit. Permittee and his agents or assigns are responsible for design, planning and construction under the Development Permit. LCRA is not responsible for any defects resulting from the design or construction under this Development Permit.

Issuance Date: 12/11/2023 Expiration Date: 12/11/2026

This permit is subject to the following conditions:

GENERAL CONDITIONS:

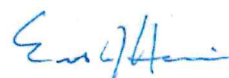
- A. Notify LCRA 24 to 48 hours before commencing any development as defined by Section 3 of the Ordinance.
- B. After the permit has been issued, following installation of temporary Erosion and Sediment Controls and prior to commencing development, an on-site pre-development inspection is required to be attended by the applicant, or his representative, and LCRA.
- C. Allow LCRA to enter the site for purposes of inspecting compliance with the permit, or for performing any work necessary to bring the site into compliance with the permit.
- D. Designate a location on this site for the posting of notice and inform LCRA of that location.
- E. Keep a copy of the permit and development plans on the site.
- F. Promptly notify LCRA in writing, of any assignment of the permit or change in the name, address or telephone number of the permittee.
- G. Inspect all temporary Erosion and Sedimentation Controls after each rain of 0.5 inches or more and at least once a week and make repairs to restore full function of all controls.
- H. Repair any siltation or Erosion damage resulting from this project.
- I. Contact LCRA to determine if a permit amendment is required for any Best Management Practice (BMP) modifications. Obtain LCRA approval for any required permit amendment prior to modifying BMPs.
- J. Upon completion of the development, a registered professional engineer shall certify in writing to LCRA that the Permanent BMPs were constructed in accordance with the permit conditions and this Ordinance.
- K. If the Permit is not already in the name of the Person responsible for the BMP maintenance, assign the Development Permit and all rights and obligations associated therewith to the Landowner, maintenance, or Property Owner's Association as applicable, upon completion of construction of the Development.
- L. This permit shall expire within three (3) years from the date of issuance or upon sooner termination by LCRA General Manager or his designee. A one-time extension of no more than 18 months may be requested.

- M. Failure to maintain financial security provided to LCRA for erosion and sediment control shall be cause for termination of this permit.
- N. Permittee is responsible for complying with regulations or restrictions imposed by any other governmental authority including federal, state, county and municipal as well as other LCRA programs. Failure to comply with other governmental regulations or restrictions may result in enforcement action by the governmental authority whose regulations have been violated. Other regulations that may apply to this property have not been considered in the review and issuance of this LCRA permit.

SPECIAL CONDITIONS

1. Construction drawings titled "Site and NPS Plans for Jonestown Water Supply Corporation Destination Way WTP by Malone/Wheeler Inc. dated 11/17/2023 are approved as a part of this permit. Perform all construction including installation of Erosion and Sediment Controls and Permanent Water Quality Management Best Management Practices (BMPs) as identified and detailed on the approved plans.
2. Provide a construction schedule for the project prior to the pre-construction meeting. The schedule shall include initial erosion/sediment control (ESC) installation, phased ESC installation (if required or proposed), temporary stabilization (if required or proposed), and final stabilization.
3. Install and maintain temporary erosion and sedimentation controls as necessary to prevent sediment from leaving the project site during construction. These controls must remain in place until the project area has achieved final stabilization including establishment of perennial vegetative cover to a uniform density of at least seventy percent (70%).
4. Development shall comply with Buffer Zone Requirements to protect creeks and natural drainageways. Buffer Zones shall remain undisturbed except where work is explicitly shown in the approved plans. Encroachment into a Buffer Zone or damage to Buffer Zone areas beyond the approved Limits of Construction will be considered a priority violation and will result in a Stop Work Order and possible fines.
5. Level Spreaders shall be staked in the field for LCRA inspection/field review prior to construction. Permittee must contact LCRA to schedule inspection a minimum of 2 working days prior to construction. Do not begin any construction or excavation relating to this item until LCRA inspection is completed and approved.
6. Commence final stabilization within 21 days of suspension or completion of the development or any phase thereof. Temporary stabilization may be approved if construction ends or is suspended when perennial vegetation is out of season (late fall/winter) or during drought, however final stabilization shall be completed no later than 3 months after the onset of favorable growing conditions as per the LCRA Technical Manual.
7. Additional erosion and sedimentation controls may be required to correct inadequate or ineffective controls.
8. The project currently qualifies for Alternative Standards for Commercial Development with less than 15% impervious cover. If future development on this lot increases impervious cover above 15%, additional best management practices beyond those allowed for Alternative Standards may be required to comply with the Highland Lakes Watershed Ordinance. A permit amendment and plan revisions must be obtained from LCRA prior to any such increase.
9. Prior to final inspection and occupancy of facilities constructed under this permit, provide:
 - Engineer's certification/ concurrence letter per Permit General Conditions.
 - Record Drawings (or engineer's certification that no plan deviations affecting drainage or water quality were made)
10. Owner and his assigned representatives must comply with the approved BMP maintenance plan.

If at any time the terms and conditions of this permit are not met, LCRA may revoke the permit after notifying the permittee of non-compliance and allowing ten (10) days to reestablish compliance. If the permittee fails to comply within this period, the permit shall automatically terminate, unless otherwise agreed to by LCRA.



12/11/2023

Erik Harris, LCRA

Date



HIGHLAND LAKES WATERSHED ORDINANCE PERMIT NOTICE

This notice must be displayed in a visible location on the property at all times during the construction process.

Permit Number: 2023-5153

Issue Date: 12/11/2023

Expiration Date: 12/11/2026

Permit Description: Development and construction
of a drinking water treatment plant

Permit Issued To: Jonestown Water Supply Corporation
10700 Crestview Dr., Jonestown, TX 78645

Property Location: 4900 Destination Way
Jonestown , TX 78645

Additional information regarding this permit may be obtained by contacting the LCRA Water Quality Program via email at HLWO@lcra.org or by phone at 1-800-776-5272 Ext. 2324 or 578-2324.

SITE & NPS PLANS FOR

JONESTOWN

WATER SUPPLY CORPORATION

DESTINATION WAY WTP

DESTINATION WAY

JONESTOWN, TEXAS

TRAVIS COUNTY

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION, AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

SUBMITTED FOR APPROVAL BY
MALONE/WHEELER, INC.




 DENNIS LOZANO
 REGISTERED PROFESSIONAL ENGINEER NO. 106147
 MALONE/WHEELER, INC.
 5113 SOUTHWEST PKWY
 AUSTIN, TEXAS 78735
 OFFICE: (512) 899-0601 X.234
 FAX: (512) 899-0655
 FIRM REG. NO. F-786

11/17/2023
DATE

REVIEWED BY:

JONESTOWN WATER SUPPLY CORPORATION _____ DATE _____
 CITY OF JONESTOWN _____ DATE _____
 LOWER COLORADO RIVER AUTHORITY _____ DATE _____

FLOODPLAIN INFORMATION:

THIS PROPERTY IS LOCATED WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 48453C0205J, DATED JANUARY 22, 2020 FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

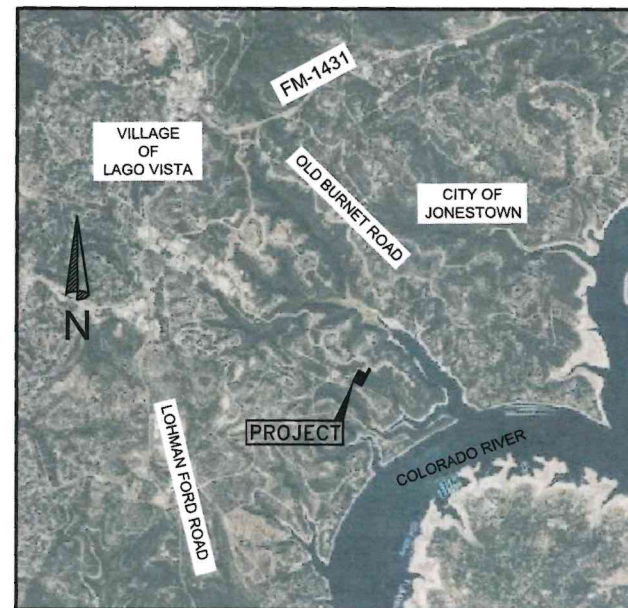
THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTES:

- TOTAL SITE AREA: 4.42 ACRES
- ZONING DISTRICT: GUJ - GOVERNMENT UTILITY & INSTITUTION
- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF JONESTOWN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- BY THE ACT OF SUBMITTING A BID FOR THE PROPOSED CONTRACT, THE BIDDER WARRANTS THAT THE BIDDER, AND ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS HE INTENDS TO USE HAVE CAREFULLY AND THOROUGHLY REVIEWED THE DRAWINGS AND SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS AND HAVE FOUND THEM COMPLETE AND FREE FROM ANY AMBIGUITIES AND SUFFICIENT FOR THE PURPOSE INTENDED. THE BIDDER FURTHER WARRANTS THAT TO THE BEST OF HIS OR HIS SUBCONTRACTORS AND MATERIAL SUPPLIERS KNOWLEDGE ALL MATERIALS AND PRODUCTS SPECIFIED OR INDICATED HEREIN ARE ACCEPTABLE FOR ALL APPLICABLE CODES AND AUTHORITIES.
- EXISTING CONDITIONS SURVEY WAS PREPARED BY DELTA SURVEY GROUP INC.
- THE SIZE AND LOCATION OF UTILITY STRUCTURES, (IF SHOWN), MAY BE EXAGGERATED FOR GRAPHICAL CLARITY.
- ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. (OSHA STANDARDS MAY BE PURCHASED FROM THE GOVERNMENT PRINTING OFFICE; INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM OSHA- WASHINGTON SQUARE BLVD, SUITE 203, 800 DOLOROSA ST, SAN ANTONIO, TEXAS 78207-4559).
- ALL CONSTRUCTION HEREIN SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF AUSTIN AND/OR TXDOT STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- APPROVAL OF THESE PLANS BY THE CITY OF JONESTOWN INDICATES COMPLIANCE WITH APPLICABLE CITY REGULATIONS ONLY. APPROVAL BY OTHER GOVERNMENTAL ENTITIES MAY BE REQUIRED PRIOR TO THE START OF THE CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR DETERMINING WHAT ADDITIONAL APPROVALS MAY BE NECESSARY.

PROJECT LEGAL DESCRIPTION

JONESTOWN WATER SUPPLY CORPORATION BLK A LOT 1
DOC. NO. 2021085106 OPRTC



LOCATION MAP

NOT TO SCALE

DATE OF SUBMITTAL:
OCTOBER 2023

PROJECT ADDRESS:
4900 DESTINATION WAY
JONESTOWN, TEXAS 78645

DESIGN SURVEY:
 DELTA SURVEY GROUP INC.
 8213 BRODIE LANE
 SUITE 102
 AUSTIN, TEXAS 78745
 512-282-5200

OWNER / DEVELOPER:
 JONESTOWN WSC,
 10700 CRESTVIEW DR
 JONESTOWN, TEXAS 78645
 512-636-8147
 CONTACT: JOHN TICHI

ENGINEER:
 CONTACT: DENNIS LOZANO, P.E.



CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT

5113 Southwest Pkwy, Suite 260
 Austin, Texas 78735
 Phone: (512) 899-0601 Fax: (512) 899-0655
 Firm Registration No. F-786

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REV NO.	SHEET NO.	DESCRIPTION	ACCEPTED	DATE	ACCEPTED	DATE

WARNING !!!!
 CONTRACTOR TO FIELD VERIFY ALL EXIST. UTILITIES
 VERTICALLY AND HORIZONTALLY PRIOR TO
 CONSTRUCTION.

JONESTOWN, TRAVIS COUNTY, TEXAS SITE & CONSTRUCTION PLAN

GENERAL CONSTRUCTION NOTES:

- 1. ALL CONSTRUCTION SHALL BE ACCORDANCE WITH IN THE CITY OF AUSTIN STANDARD SPECIFICATIONS, AS ADOPTED AND APPROVED BY THE CITY OF JONESTOWN.
2. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE BETWEEN THE CITY OF JONESTOWN, LOWER COLORADO RIVER AUTHORITY, CONSULTING ENGINEER, CONTRACTOR, AND ANY OTHER AFFECTED PARTIES. NOTIFY THE PUBLIC WORKS DIRECTOR AT LEAST TWO (2) DAYS PRIOR TO THE TIME OF THE CONFERENCE AND TWO (2) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
3. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF TWO (2) DAYS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION. CALL THE PUBLIC WORKS DIRECTOR, OR JONESTOWN WATER SUPPLY CORPORATION.
4. NO BLASTING IS PERMITTED.
5. ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE BEFORE ACCEPTANCE OF THE SITE DEVELOPMENT.
6. THE LOCATION OF ANY WATER AND/OR WASTEWATER LINES SHOWN ON THE PLANS MUST BE VERIFIED BY THE CITY OF JONESTOWN UTILITY CREWS AND JONESTOWN WATER SUPPLY CORPORATION.
7. LOCATE EXISTING UTILITIES. TWO (2) DAYS BEFORE YOU DIG. LOCAL UTILITIES AS FOLLOWS:
A. SOUTHWESTERN BELL (TELEPHONE) 512-470-4217
B. HEARTLAND WIRELESS (CABLE) 512-833-8299
C. TIME WARNER COMMUNICATIONS (CABLE) 512-485-4000
D. FEDERALE'S ELECTRIC COOPERATIVES (PEC) ENGINEERING 512-331-9929
E. UNDERGROUND UTILITY LOCATOR 1-800-669-8344 OR FAX 1-800-999-2344
F. JONESTOWN WATER SUPPLY CORPORATION 512-267-7144
8. ALL STORM SEWER PIPES TO BE CLASS III RCP UNLESS NOTED OTHERWISE.
9. ALL CONCRETE PIPE SLOWING INTO SPLITTER STRUCTURES THAT ARE INTERNAL TO RETENTION/IRRIGATION PONDS SHALL BE WATER TIGHT (RUBBER GASKET).

CONSTRUCTION SEQUENCING:

- 1. CALL CITY OF JONESTOWN, PUBLIC WORKS DIRECTOR, LOWER COLORADO RIVER AUTHORITY, AND JONESTOWN WATER SUPPLY CORPORATION TWO (2) DAYS PRIOR TO BEGINNING ANY WORK.
2. DESIGNATE AN ON-SITE ENVIRONMENTAL PROJECT MANAGER WHO IS ON-SITE OVER NINETY PERCENT (90%) OF THE TIME.
3. INSTALL EROSION CONTROLS AND TREE PROTECTION PER APPROVED PLANS.
4. HOLD PRE-CONSTRUCTION CONFERENCE.
5. INSTALL IMPROVEMENTS.
6. COMPLETE PERMANENT EROSION CONTROL AND RESTORATION OF SITE VEGETATION.
7. SUBMIT ENGINEERS CONFERENCE LETTER AND SCHEDULE FINAL PROJECT INSPECTION WITH THE ENVIRONMENTAL INSPECTOR.
8. COMPLETE PERMANENT CONTROL AND SITE RESTORATION. REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND TREE PROTECTION. RESTORE ANY AREAS DISTURBED DURING REMOVAL OF THOSE CONTROLS.

SWPPP NOTES:

THIS PROJECT IS SUBJECT TO TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S (TCEQ) TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES) GENERAL PERMIT TXR150000 FOR CONSTRUCTION ACTIVITIES. THE GENERAL PERMIT REQUIRES THE PREPARATION OF A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHICH HAS BEEN PROVIDED BY OWNER FOR USE BY THE CONTRACTOR. THE OWNER SHALL PROVIDE THE OWNER'S NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) TO TCEQ. THE CONTRACTOR'S RESPONSIBILITIES ARE AS FOLLOWS:

- 1. MAINTAIN A COPY OF THE SWPPP AND A SET OF CONSTRUCTION PLANS WITH THE TEMPORARY EROSION AND SEDIMENTATION CONTROL PLAN AT THE WORK SITE AT ALL TIMES.
2. FILE A NOI WITH TCEQ AT LEAST TWO (2) DAYS PRIOR TO SITE DISTURBANCE.
3. POST A COPY OF OWNER'S AND CONTRACTOR'S NOI FORMS AT THE WORK SITE.
4. SIGN THE CERTIFICATION AND OBTAIN A SIGNED CERTIFICATION STATEMENT FROM ALL MEASURES WHICH INDICATES THAT THE CONTRACTOR AND SUBCONTRACTOR UNDERSTANDS THE PERMIT REQUIREMENTS (FORMS ARE IN THE SWPPP).
5. FOLLOW AND COMPLY WITH ALL ASPECTS OF TPDES GENERAL PERMIT NO. TXR150000.
6. FILE A COPY OF THE CONTRACTOR'S NOT WITH TCEQ ONCE WORK HAS BEEN ACCEPTED.

UTILITY NOTES:

- 1. JONESTOWN WATER SUPPLY CORPORATION IS THE WATER SERVICE PROVIDER FOR THIS DEVELOPMENT. A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO COMMENCEMENT OF CONSTRUCTION TO SCHEDULE INSPECTION OF INSTALLATION OF WATER FACILITIES. ALL WATER FACILITIES WILL BE INSPECTED. THE CONTACT NUMBER FOR INSPECTION IS (512) 217-5636 (ENGINEER OF RECORD).
2. THE CITY OF AUSTIN STANDARD CONSTRUCTION SPECIFICATIONS CURRENT AT THE TIME OF BIDDING SHALL GOVERN MATERIAL AND METHODS USED TO DO THIS WORK.
3. CONTRACTOR SHALL CONTACT THE AUSTIN AREA 'ONE CALL' SYSTEM AT 472-2822 FOR EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATION. IN ADVANCE OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES TO BE EXTENDED, TIED TO, OR ALTERED, OR SUBJECT TO DAMAGE/INCONVENIENCE BY THE CONSTRUCTION OPERATIONS.
4. THE SEPARATION DISTANCE BETWEEN WATER MAINS, WASTEWATER MAINS, AND OTHER UTILITIES SHALL COMPLY WITH TCEQ RULES OR HAVE A VARIANCE APPROVED BY TCEQ.
5. THE CITY OF AUSTIN SPECIFICATION ITEM 5065 WILL BE REQUIRED AS A MINIMUM TRENCH SAFETY MEASURE. CONTRACT DOCUMENTS, WHICH INCLUDE A TRENCH SAFETY PLAN AND A PAY ITEM FOR TRENCH SAFETY MEASURES, IN COMPLIANCE WITH TEXAS HOUSE BILL 1569, MUST BE RECEIVED BY THE ENGINEER OF RECORD BEFORE BEGINNING WORK ON THE PROJECT.
6. ALL MATERIAL TESTS, INCLUDING SOIL DENSITY TESTS AND RELATED SOIL ANALYSIS, SHALL BE ACCOMPLISHED BY AN INDEPENDENT LABORATORY FUNDED BY THE OWNER IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 18045.4.
7. THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 510.3(22).
8. FIRE HYDRANT SHALL BE SET IN ACCORDANCE WITH CITY OF AUSTIN STANDARD SPECIFICATION ITEM 5113.3 AND SHALL BE APPROVED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE PARTY PRIOR TO INSTALLATION.
9. LOCATOR 'FINDER' WIRE - ALL NON-METALLIC WATERLINES SHALL HAVE A FINDER WIRE LOCATED ABOVE THE PIPE. THE WIRE SHALL BE POLY-INSULATED NO. 10 SOLID COPPER AND WILL TERMINATE AT EACH ISOLATION VALVE SUCH THAT IT IS ACCESSIBLE FROM THE VALVE STACK.
10. LOCATOR 'FINDER' WIRE - ALL NON-METALLIC WASTEWATER FORCE MAIN PIPING SHALL HAVE A FINDER WIRE LOCATED ABOVE THE PIPE. THE WIRE SHALL BE POLY-INSULATED NO. 10 SOLID COPPER AND SHOULD BE TERMINATED AT READILY ACCESSIBLE LOCATIONS THROUGHOUT THE COLLECTION SYSTEM.
11. ALL VALVE RISERS SHALL HAVE A 1'-6" SQUARE CONCRETE BOX POURED AROUND THEM AT FINISHED GRADE.
12. CONTRACTOR SHALL HAVE ALL NECESSARY EROSION AND SEDIMENTATION CONTROLS IN PLACE PRIOR TO COMMENCING WATER FACILITY CONSTRUCTION.
13. RECORD DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AND FURNISHED UPON COMPLETION OF THE PROJECT.

BENCHMARKS:

BM #5: SQUARE CUT ON HEADWALL. ELEVATION=925.86'

LCRA EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION).
2. THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE LCRA WATER QUALITY MANAGEMENT TECHNICAL MANUAL AND THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
3. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD ON-SITE WITH THE CONTRACTOR, DESIGN ENGINEER/PERMIT APPLICANT AND LCRA WATERSHED MANAGEMENT INSPECTOR AFTER INSTALLATION OF THE EROSION/SEDIMENTATION CONTROLS AND PRIOR TO BEGINNING ANY SITE PREPARATION WORK. THE CONTRACTOR SHALL NOTIFY THE LCRA INSPECTOR, AT LEAST THREE DAYS PRIOR TO THE MEETING DATE.
4. ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE LCRA WATERSHED MANAGEMENT PROGRAM. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE LCRA WATERSHED MANAGEMENT INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
5. THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER RAINFALL EVENTS IN EXCESS OF 0.5" TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
6. PRIOR TO FINAL ACCEPTANCE BY THE LCRA, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED. ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING DEBRIS SHALL BE DISPOSED OF IN APPROVED SOIL DISPOSAL SITES.
7. PERMANENT EROSION CONTROL: ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW.
A. MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS (EXCEPT ROCK OUTCROP). SALVAGED TOPSOIL FROM THE SITE SHOULD BE USED WHENEVER POSSIBLE. IMPORTED TOPSOIL SHALL BE WEED FREE WITH A MINIMUM 20% ORGANIC CONTENT. TOPSOIL PLACED ON SLOPES EXCEEDING 5 HORIZONTAL TO 1 VERTICAL SHALL HAVE A RELATIVELY HIGH RESISTIVITY TO EROSION.
B. THE SEEDING FOR PERMANENT EROSION CONTROL SHALL BE APPLIED OVER AREAS DISTURBED BY CONSTRUCTION AS FOLLOWS (SELECT ONE OF THE THREE SEED COMBINATIONS LISTED BELOW):

Table with 3 columns: DATES, CLIMATE, SPECIES (lb/ac). Rows include Year Round Permanent Cool/Warm Season, MAR 30-OCT 1 Permanent Warm Season, and OCT 1-MAR 30 Permanent Cool/Warm Season.

TAKE CARE TO DISTRIBUTE SEED EVENLY, BY SOWING FINE AND LARGE SEEDS SEPARATELY OR BY USING A FINE SEED BOX. WHEN BROADCASTING SEEDING, THE APPLICATION RATE SHOULD BE DOUBLED AND THE AREA ROLLED TO ENSURE A GOOD SEED/SOIL CONTACT

*FROM SEPTEMBER 15 TO MARCH 1, OATS (21 LB/ACRE) AND WINTER WHEAT (30 LB/ACRE) MAY BE SUBSTITUTED FOR RYE.
MULCH TYPE USED SHALL BE HAY, STRAW OR MULCH APPLIED AT A RATE OF 3500 LB/ACRE (HAY), 4500 LB/ACRE (STRAW) OR 2500 LB/ACRE (HYDRAULIC MULCH). TACKIFIER, IF USED SHALL BE BIODEGRADABLE.

C. THE PLANTED AREA SHALL BE IRRIGATED OR SPRINKLED IN A MANNER THAT WILL NOT ERODE THE TOPSOIL, BUT WILL SUFFICIENTLY SOAK THE SOIL TO A DEPTH OF SIX INCHES. THE IRRIGATION SHALL OCCUR AT TEN-DAY INTERVALS DURING THE FIRST TWO MONTHS. RAINFALL OCCURRENCES OF 1/4 INCH OR MORE SHALL POSTPONE THE WATERING SCHEDULE FOR ONE WEEK.

D. RESTORATION SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1 1/2 INCHES HIGH WITH 70% COVERAGE, PROVIDED NO BARE SPOTS LARGER THAN 16 SQUARE FEET EXIST. CRITICAL AREAS INCLUDING CREEK CROSSINGS, SLOPES, STORMWATER DISCHARGE POINTS MUST BE COMPLETELY STABILIZED. PERMANENT WATER QUALITY BMPS MUST ATTAIN 80% COVERAGE.

8. DEVELOPER INFORMATION:

OWNER: JONESTOWN WATER SUPPLY CORPORATION PHONE # 512-267-7144
ADDRESS: 4900 DESTINATION WAY, JONESTOWN, TEXAS 78645
OWNER'S REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS:
MALONE/WHEELER, INC. PHONE # 512-217-5636
PERSON OR FIRM RESPONSIBLE FOR EROSION/SEDIMENTATION CONTROL MAINTENANCE:
PERSON OR FIRM RESPONSIBLE FOR TREE/NATURAL AREA PROTECTION MAINTENANCE:

9. THE CONTRACTOR SHALL NOT DISPOSE OF SURPLUS EXCAVATED MATERIAL FROM THE SITE WITHOUT NOTIFYING THE LCRA WATERSHED MANAGEMENT INSPECTOR AT LEAST 48 HOURS PRIOR WITH THE LOCATION AND A COPY OF THE PERMIT ISSUED TO RECEIVE THE MATERIAL.

STANDARD NOTES FOR TREE AND NATURAL AREA PROTECTION:

- 1. ALL TREES SHOWN ON THIS PLAN TO BE RETAINED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
2. PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO THE CITY OF AUSTIN STANDARDS FOR TREE PROTECTION.
3. PROTECTION FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
4. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITH TREE DRIP LINES.
5. PROTECTIVE FENCES SHALL COMPLETELY SURROUND THE TREE, OR CLUSTERS OF TREES WILL BE LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES (DRIP LINE), AND WILL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING:
A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS;
B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN SIX (6) INCHES CUT OR FILL), OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST.
C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT;
D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUNK CLEANING, AND FIRES.
6. EXCEPTION TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
A. WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY TWO (2) TO FOUR (4) FEET BEYOND THE AREA DISTURBED;
B. WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADES SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE);
C. WHERE TREES ARE CLOSE TO PROPOSED BUILDING, ERECT THE FENCE TO ALLOW SIX (6) TO TEN (10) FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING;
D. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT CITY ARBORIST TO DISCUSS ALTERNATIVES.
7. SPECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED.
8. WHERE ANY OF THE FENCING IS CLOSER THAN FOUR (4) FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF EIGHT (8) FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
9. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
10. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN AREAS OF UNPROTECTED ROOT ZONES (UNDER DROP LINES), THOSE AREAS SHOULD BE COVERED WITH FOUR (4) INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION.
11. ALL GRADING WITHIN PROTECTED ROOT ZONE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE. PRIOR TO GRADING, RELOCATE PROTECTIVE FENCING TO TWO (2) FEET BEHIND THE GRADE CHANGE AREA.
12. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. BACKFILLING ROOT AREAS REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
13. PRIOR TO EXCAVATION OR GRADE CUTTING WITHIN TREE DRIP LINES, MAKE A CLEAN CUT BETWEEN THE DISTURBED AND UNDISTURBED ROOT ZONES WITH A ROCK SAW OR SIMILAR EQUIPMENT TO MINIMIZE DAMAGE TO REMAINING ROOTS.
14. TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY ONCE A WEEK DURING PERIODS OF HOT, DRY WEATHER. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
15. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
16. NO TOPSOIL DRESSING GREATER THAN FOUR (4) INCHES SHALL BE PERMITTED WITHIN THE DRIP LINES OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
17. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.
18. ALL FINISHED PRUNING MUST BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AVAILABLE ON REQUEST STANDARD NOTES FROM THE CITY ARBORIST).
19. ONLY TREES THAT ARE GREATER THAN EIGHT (8) INCHES IN DIAMETER HAVE BEEN IDENTIFIED ON THE PLANS. OTHER TREES THAT NOT IDENTIFIED ARE OUTSIDE THE PERMANENT EASEMENT BUT ARE WITHIN THE LIMITS OF CONSTRUCTION. MAY BE ENCOUNTERED AND REQUIRE PROTECTION. IN SUCH CASE, CONTRACTOR SHALL APPLY PROTECTION PROTOCOLS.
20. DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

Table with columns: NO., DATE, REVISION, BY.

DESTINATION WAY WTP
JONESTOWN, TEXAS
GENERAL NOTES

MALONE WHEELER
CIVIL ENGINEERING * DEVELOPMENT CONSULTING * PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 260
Austin, Texas 78735
Phone: (512) 899-0601 Fax: (512) 899-0655
Firm Registration No. F-786

STATE OF TEXAS
DENNIS LOZANO
106147
LICENSED PROFESSIONAL ENGINEER
11.17.23

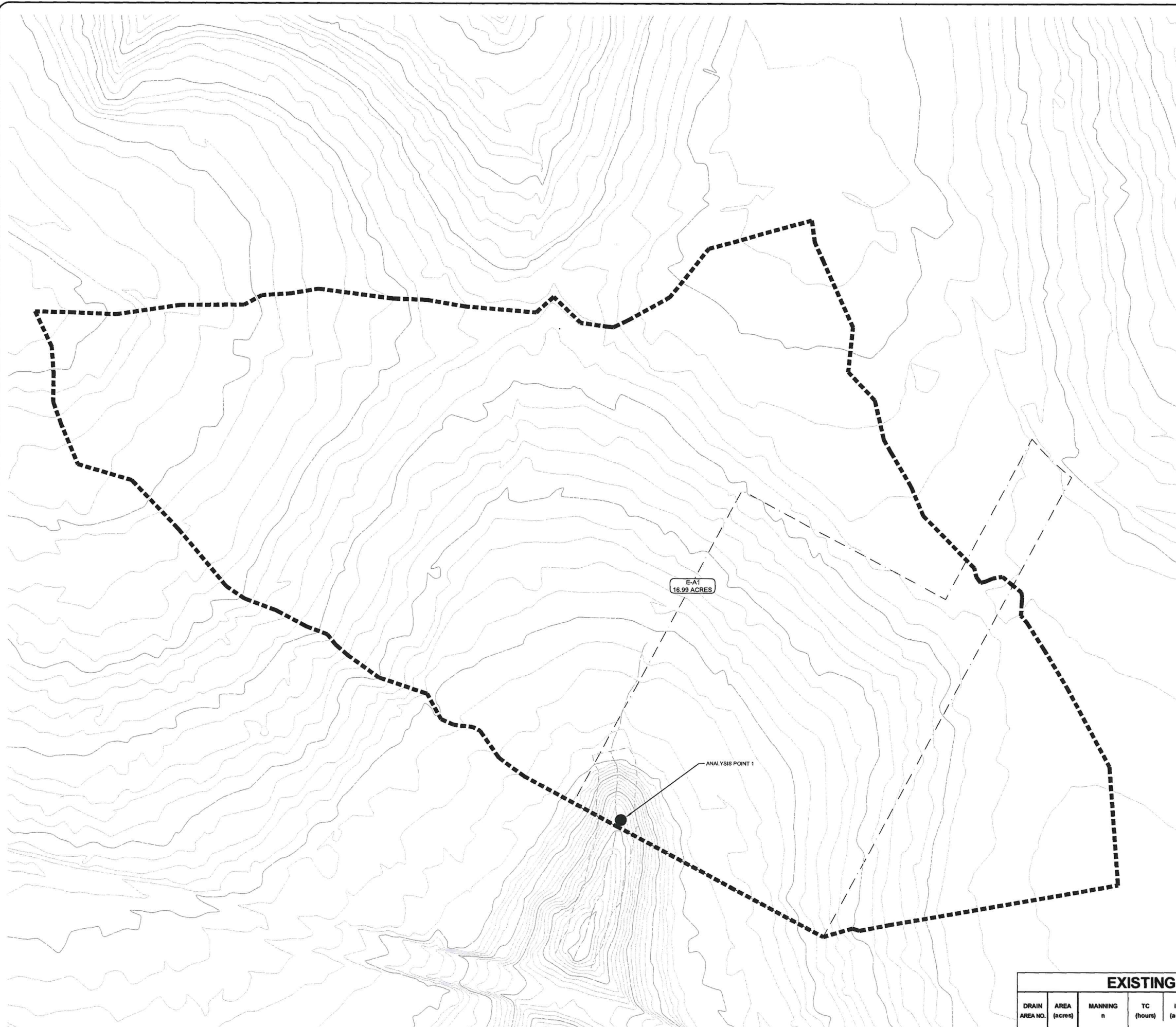


DESIGN BY: IA
CHECKED BY: PK.SZ
APPROVED BY: DL
DATE: 10/3/2023

SHEET 02

JONESTOWN WSP PROJECT 5903 DIV WTP/DRAININGS/INSECT/WATER TREATMENT PLANTS/GENERAL NOTES.DWG. 11/16/2023. 03:48:01. 03:48:01

ESTOWN WSPROJECTS\03 DW WTP\DRAWINGS\PLANS\WATER TREATMENT PLANT\EXISTING DRAINAGE AREA MAP DWG. 11162023, ISABEL ARROCHA



- LEGEND**
- PROPERTY BOUNDARY
 - EXIST. DRAINAGE AREA
 - E-A1
1.00 ACRES EXIST. DRAINAGE AREA ID
 - DRAINAGE AREA ACREAGE
 - CREEK CENTERLINE
 - CREEK BUFFER

NO.	DATE	REVISION	BY

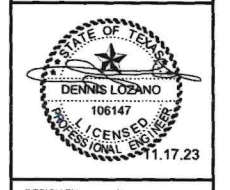
**DESTINATION WAY WTP
JONESTOWN, TEXAS**

EXISTING DRAINAGE AREA MAP

MALONE ★ WHEELER
SINCE INC. 1918

CIVIL ENGINEERING ★ DEVELOPMENT CONSULTING ★ PROJECT MANAGEMENT

5113 Southwest Pkwy, Suite 260
Austin, Texas 78735
Phone: (512) 899-6601 Fax: (512) 899-0655
Firm Registration No. 1786

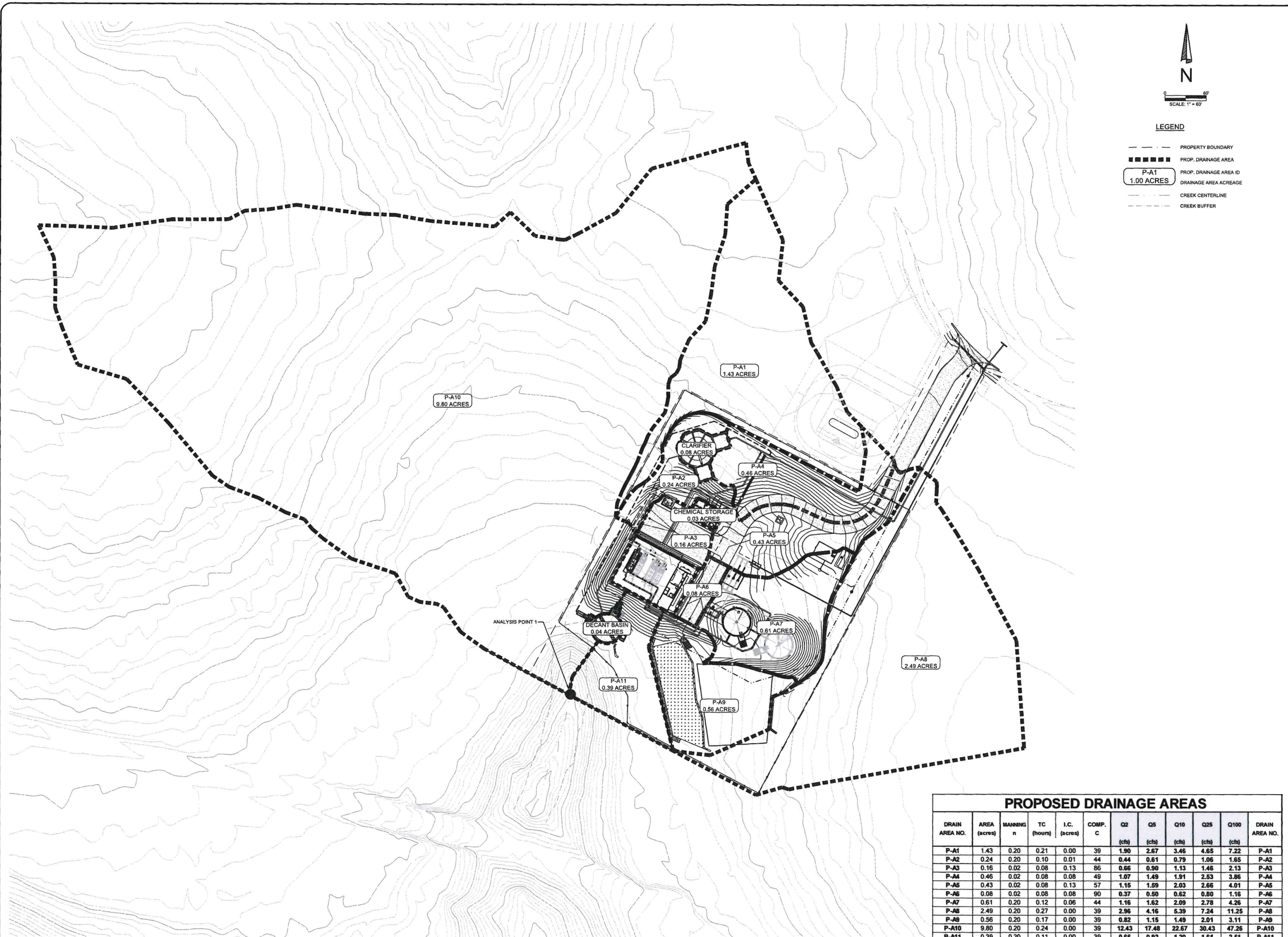


EXISTING DRAINAGE AREAS											
DRAIN AREA NO.	AREA (acres)	MANNING n	TC (hours)	L.C. (acres)	COMP. C	Q2 (cfs)	Q5 (cfs)	Q10 (cfs)	Q25 (cfs)	Q100 (cfs)	DRAIN AREA NO.

DESIGN BY: IA
 CHECKED BY: BD
 APPROVED BY: DL
 DATE: 8/31/2023

SHEET 03

ESTOWN WSPROJECT8003 DW WTPDRAWINGSPLANTWATER TREATMENT PLANTWTP PROPOSED DRAINAGE AREA MAP.DWG, 11/16/2023, ISABEL ARROCHA



- LEGEND**
- - - - - PROPERTY BOUNDARY
 - █ █ █ █ █ PROP. DRAINAGE AREA
 - P-A1
1.00 ACRES PROP. DRAINAGE AREA ID
 - DRAINAGE AREA ACREAGE
 - CREEK CENTERLINE
 - CREEK BUFFER

DESTINATION WAY WTP
JONESTOWN, TEXAS
PROPOSED DRAINAGE AREAS

MALONE WHEELER
SINCE INC. 1915
CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 240
Austin, Texas 78735
Phone: (512) 899-6801 Fax: (512) 899-9655
Pm Registration No. F-786



DESIGN BY: IA
CHECKED BY: BD
APPROVED BY: DL
DATE: 11/16/2023

PROPOSED DRAINAGE AREAS											
DRAIN AREA NO.	AREA (acres)	MANNING n	TC (hours)	I.C. (acres)	COMP. C	Q2 (cfs)	Q5 (cfs)	Q10 (cfs)	Q25 (cfs)	Q100 (cfs)	DRAIN AREA NO.
P-A1	1.43	0.20	0.21	0.00	39	1.90	2.67	3.46	4.65	7.22	P-A1
P-A2	0.24	0.20	0.10	0.01	44	0.44	0.61	0.79	1.06	1.65	P-A2
P-A3	0.16	0.02	0.08	0.13	86	0.66	0.90	1.13	1.46	2.13	P-A3
P-A4	0.46	0.02	0.08	0.08	49	1.07	1.49	1.91	2.53	3.86	P-A4
P-A5	0.43	0.02	0.08	0.13	57	1.15	1.59	2.03	2.66	4.01	P-A5
P-A6	0.08	0.02	0.08	0.08	90	0.37	0.50	0.62	0.80	1.16	P-A6
P-A7	0.61	0.20	0.12	0.06	44	1.16	1.62	2.09	2.78	4.26	P-A7
P-A8	2.49	0.20	0.27	0.00	39	2.96	4.16	5.39	7.24	11.25	P-A8
P-A9	0.56	0.20	0.17	0.00	39	0.82	1.15	1.49	2.01	3.11	P-A9
P-A10	9.80	0.20	0.24	0.00	39	12.43	17.48	22.67	30.43	47.26	P-A10
P-A11	0.39	0.20	0.11	0.00	39	0.65	0.92	1.20	1.61	2.51	P-A11

154.689 ACRES
TRACT 0D
THE HOLLOWS ON LAKE TRAVIS, LLC
DOC NO. 2018024745
O.P.R.T.C.TX.

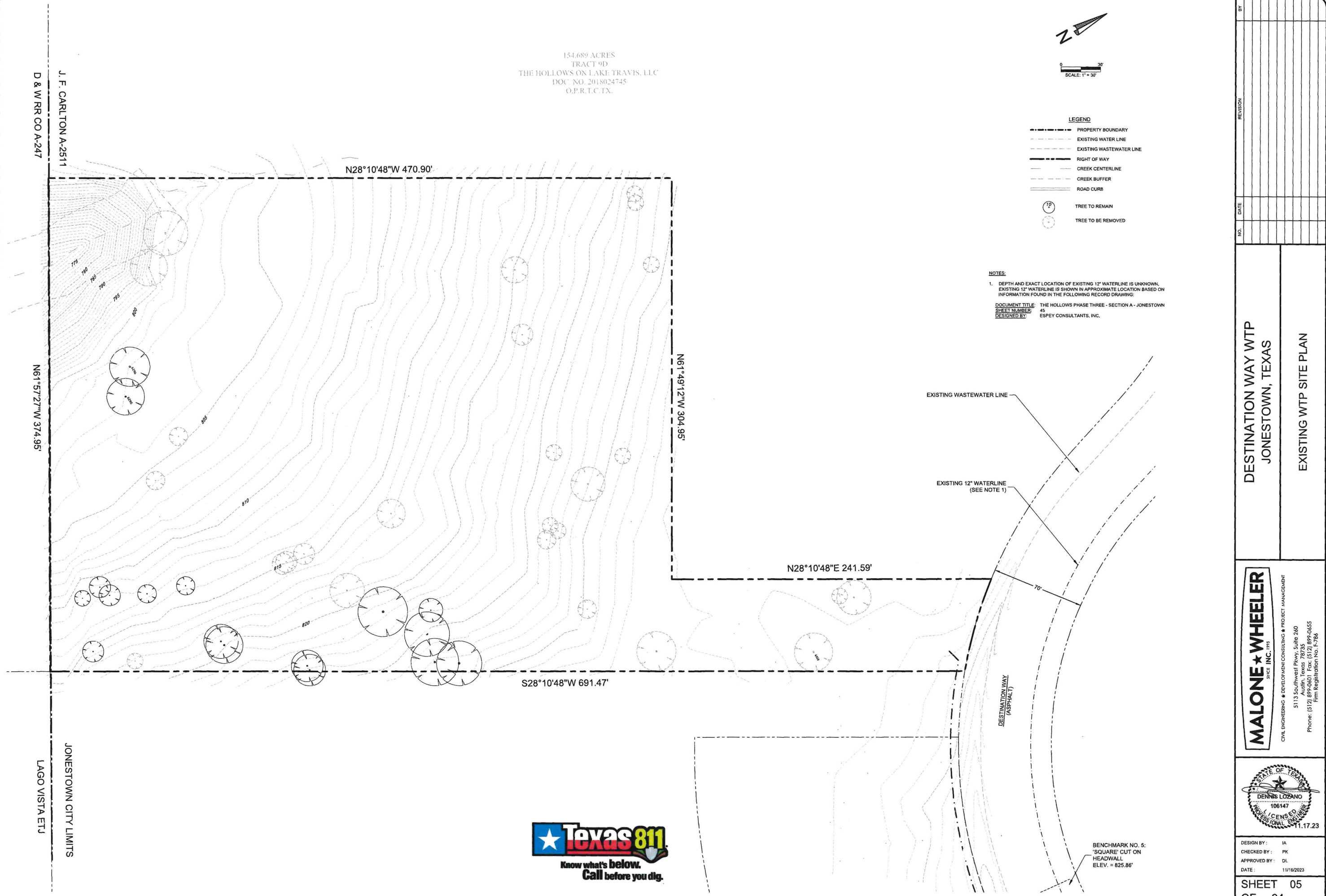


0 30'
SCALE: 1" = 30'

LEGEND

- PROPERTY BOUNDARY
- - - EXISTING WATER LINE
- - - EXISTING WASTEWATER LINE
- RIGHT OF WAY
- CREEK CENTERLINE
- CREEK BUFFER
- ROAD CURB
- ①P TREE TO REMAIN
- TREE TO BE REMOVED

NOTES:
1. DEPTH AND EXACT LOCATION OF EXISTING 12" WATERLINE IS UNKNOWN. EXISTING 12" WATERLINE IS SHOWN IN APPROXIMATE LOCATION BASED ON INFORMATION FOUND IN THE FOLLOWING RECORD DRAWING:
DOCUMENT TITLE: THE HOLLOWS PHASE THREE - SECTION A - JONESTOWN
SHEET NUMBER: 45
DESIGNED BY: ESPEY CONSULTANTS, INC.



J. F. CARLTON A-2511
D & W RR CO A-247

N61°57'27"W 374.95'

N61°49'12"W 304.95'

N28°10'48"E 241.59'

S28°10'48"W 691.47'

JONESTOWN CITY LIMITS
LAGO VISTA ETJ

NO.	DATE	REVISION

**DESTINATION WAY WTP
JONESTOWN, TEXAS**

EXISTING WTP SITE PLAN

MALONE WHEELER INC.
CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT

5113 Southwest Pkwy, Suite 260
Austin, Texas 78735 895.0455
Phone: (512) 677-1776
Firm Registration No. F-786



DESIGN BY: IA
CHECKED BY: PK
APPROVED BY: DL
DATE: 11/16/2023

SHEET 05

JONESTOWN WSP/PROJECTS/0003 DW WTP/DRAWINGS/PLANS/WATER TREATMENT PLANTS/EXISTING SITE PLAN.DWG, 11/16/2023, ISABEL APROCHA

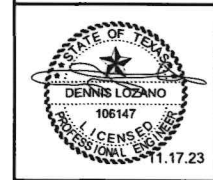
TREE#	TREE TYPE	Protect	Removed	TRUNK DIAMETER
6010	LIVE OAK	Y	N	10"9"
6011	LIVE OAK	Y	N	13"
6014	LIVE OAK	Y	N	6"
6166	LIVE OAK	N	N	6"
6167	LIVE OAK	N	N	6"
6168	LIVE OAK	N	N	6"
6171	LIVE OAK	N	N	6"
6172	LIVE OAK	Y	N	13"
6175	LIVE OAK	Y	N	15"
6178	LIVE OAK	Y	N	7"
6184	LIVE OAK	Y	N	6"
6185	LIVE OAK	N	N	6"
6187	LIVE OAK	N	N	7"
6188	LIVE OAK	Y	N	6"
6203	LIVE OAK	Y	N	8"
6204	LIVE OAK	Y	N	10"
6217	LIVE OAK	N	N	9"
6218	CEDAR	N	N	17"
6219	CEDAR	N	N	17"
6220	CEDAR	N	N	18"
6222	LIVE OAK	N	N	19"
6223	LIVE OAK	Y	N	11"
6247	LIVE OAK	N	N	13"
6251	LIVE OAK	N	N	12"
6252	LIVE OAK	N	N	12"
6254	LIVE OAK	N	N	8"
6255	LIVE OAK	N	N	8"
6256	LIVE OAK	N	N	8"
6274	LIVE OAK	N	N	14"
6275	LIVE OAK	N	N	13"
6276	LIVE OAK	N	N	7"
6279	LIVE OAK	N	N	7"
6280	LIVE OAK	N	N	7"
6283	LIVE OAK	N	N	7"
6284	LIVE OAK	N	N	6"
6286	LIVE OAK	N	N	8"
6287	LIVE OAK	N	N	8"
6288	LIVE OAK	N	N	8"
6289	LIVE OAK	N	N	6"
6295	CEDAR	N	N	14"
6296	CEDAR	N	N	15"
6304	CEDAR	Y	N	14"
6314	CEDAR	Y	N	17"

NO.	DATE	REVISION	BY

DESTINATION WAY WTP
JONESTOWN, TEXAS

TREE LIST

MALONE WHEELER
SINCE 1961 INC. P.C.
CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 260
Austin, Texas 78735
Phone: (512) 899-0401 Fax: (512) 899-0655
Firm Registration No. F786



DESIGN BY: IA
CHECKED BY: PK
APPROVED BY: DL
DATE: 8/31/2023

154.689 ACRES
TRACT 9D
THE HOLLOWS ON LAKE TRAVIS, LLC
DOC. NO. 2018024745
O.P.R.T.C.TX.



SCALE: 1" = 30'

LEGEND

- PROP. FENCE
- PROP. ROW
- PROP. WATER LINE
- EXISTING WATER LINE
- CREEK CENTERLINE
- CREEK BUFFER
- [Symbol] VEGETATED FILTER STRIP
- [Symbol] PROP. ROCK RIP-RAP
- [Symbol] EARTHEN BERM
- [Symbol] TREE TO REMAIN
- [Symbol] TREE TO BE REMOVED

Impervious Cover (ac)	
Road	0.500
Chem. Injection Vaults	0.005
Clearwell	0.048
Sludge Tank	0.005
High Service Pump Station	0.014
Sidewalks	0.037
Generator	0.012
Construction Building	0.015
Total	0.64

NOTES

- DEPTH AND EXACT LOCATION OF EXISTING 12" WATERLINE IS UNKNOWN. EXISTING 12" WATERLINE IS SHOWN IN APPROXIMATE LOCATION BASED ON INFORMATION FOUND IN THE FOLLOWING RECORD DRAWING.

DOCUMENT TITLE: THE HOLLOWS PHASE THREE - SECTION A - JONESTOWN
SHEET NUMBER: 45
DESIGNED BY: ESPEY CONSULTANTS, INC.

J. F. CARLTON A-2511
D & W RR CO A-247

N61°57'27"W 374.95'

JONESTOWN CITY LIMITS
LAGO VISTA ETJ

N28°10'48"W 470.90'

N61°49'12"W 304.95'

N28°10'48"E 241.59'

S28°10'48"W 691.47'

PLAN VIEW
SCALE: 1" = 30'



JONESTOWN WSC PROJECT S1003 DW WTP DRAWINGS WATER TREATMENT PLANT 07 PROPOSED WTP SITE PLAN DWG. 11/16/2023, ISABEL AROCHO

DESTINATION WAY WTP
JONESTOWN, TEXAS
PROPOSED WTP SITE PLAN

MALONE WHEELER
INC. 1995

CIVIL ENGINEERING & DEVELOPMENT CONSULTING & PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 260
Austin, Texas 78735 895.0455
Phone: (512) 899-0401 Fax: (512) 899-0455
Firm Registration No. 17-786

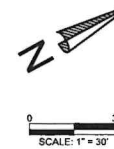


DESIGN BY: DJ
CHECKED BY: PK, SZ
APPROVED BY:
DATE: 11/8/2023

SHEET 07

BENCHMARK NO. 5:
'SQUARE' CUT ON
HEADWALL
ELEV. = 825.86'

154.689 ACRES
TRACT 0D
THE HOLLONS ON LAKE TRAVIS, LLC.
DOC. NO. 2018024745
O.P.R.T.C.TX.

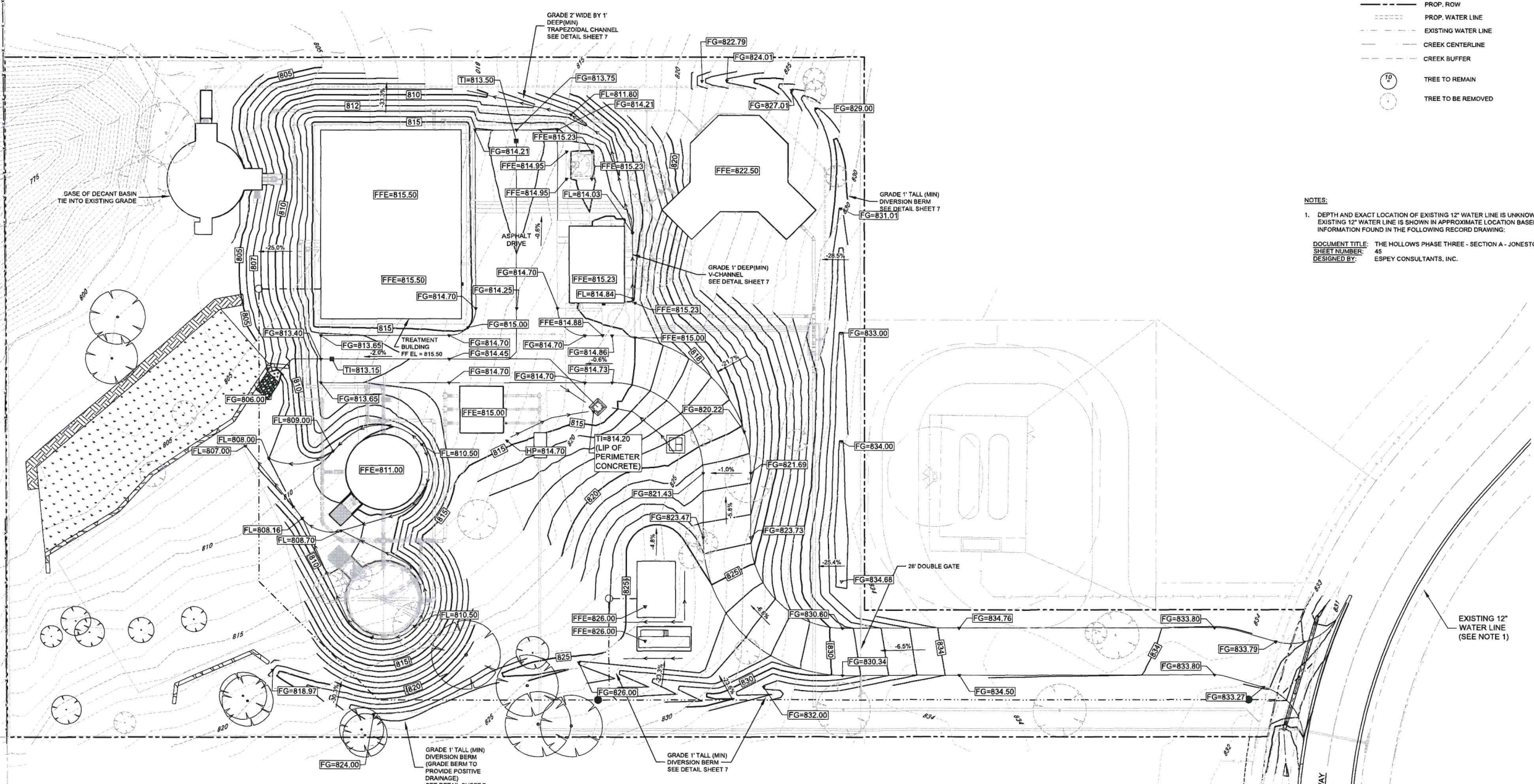


LEGEND	
	PROP. FENCE
	PROP. ROW
	PROP. WATER LINE
	EXISTING WATER LINE
	CREEK CENTERLINE
	CREEK BUFFER
	TREE TO REMAIN
	TREE TO BE REMOVED

NOTES:

1. DEPTH AND EXACT LOCATION OF EXISTING 12" WATER LINE IS UNKNOWN. EXISTING 12" WATER LINE IS SHOWN IN APPROXIMATE LOCATION BASED ON INFORMATION FOUND IN THE FOLLOWING RECORD DRAWING.

DOCUMENT TITLE: THE HOLLONS PHASE THREE - SECTION A - JONESTOWN
SHEET NUMBER: 45
DESIGNED BY: ESPEY CONSULTANTS, INC.



PLAN VIEW
SCALE: 1" = 30'



DESTINATION WAY WTP
JONESTOWN, TEXAS
PROPOSED WTP GRADING PLAN

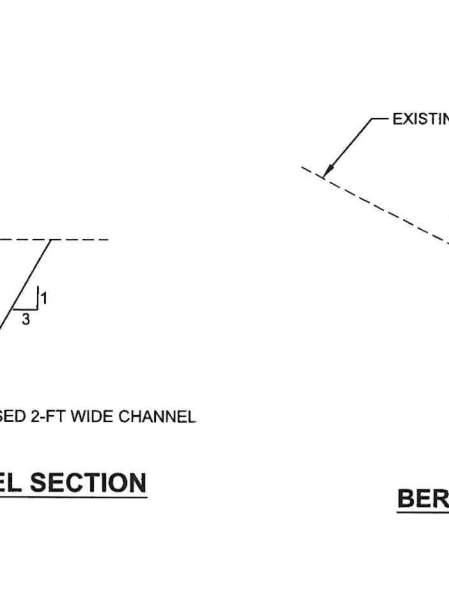
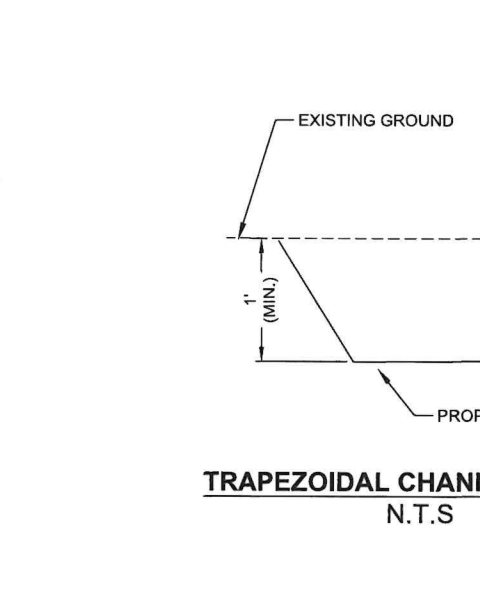
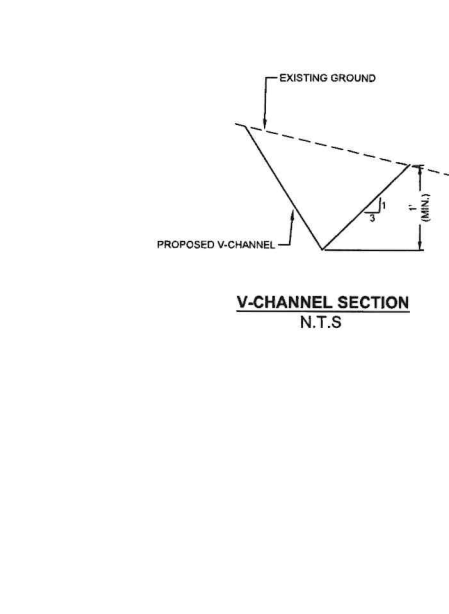
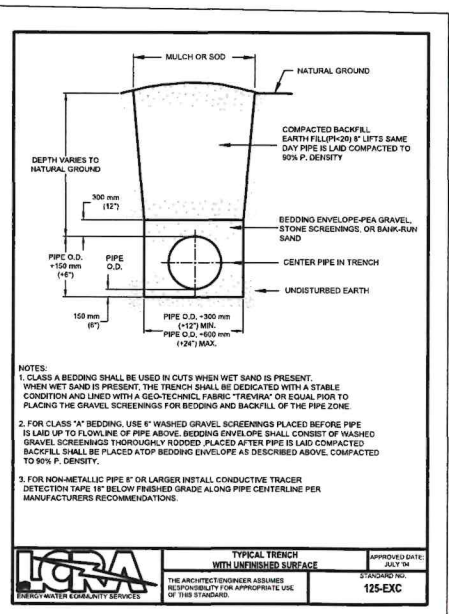
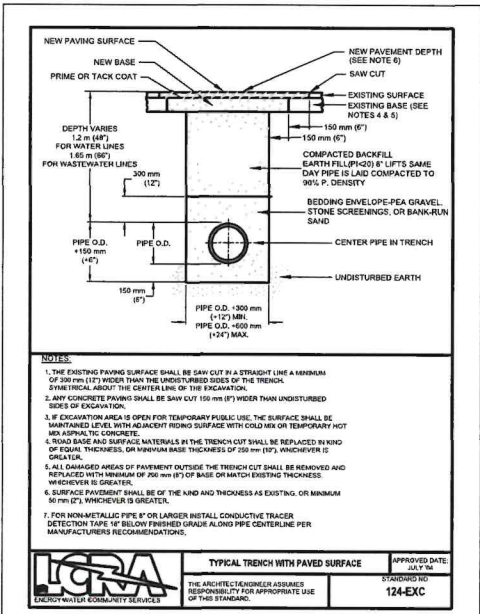
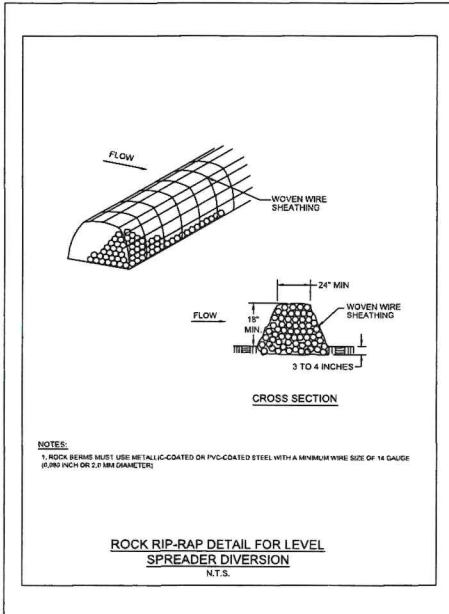
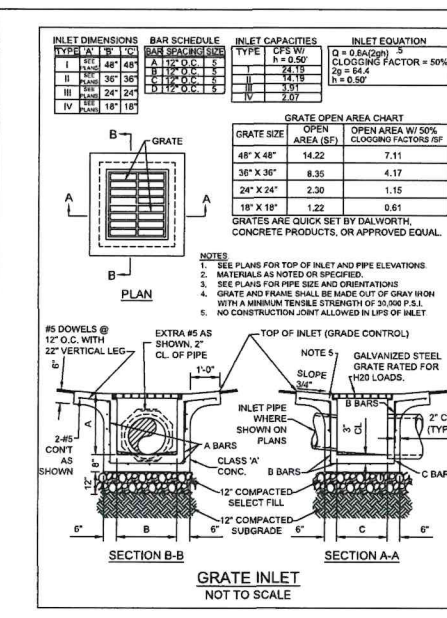
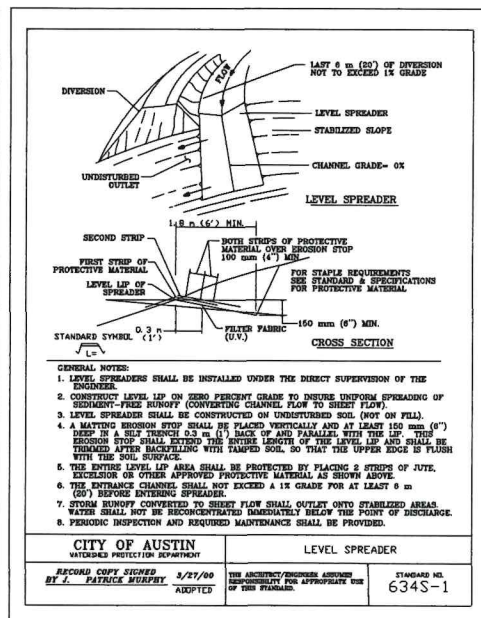
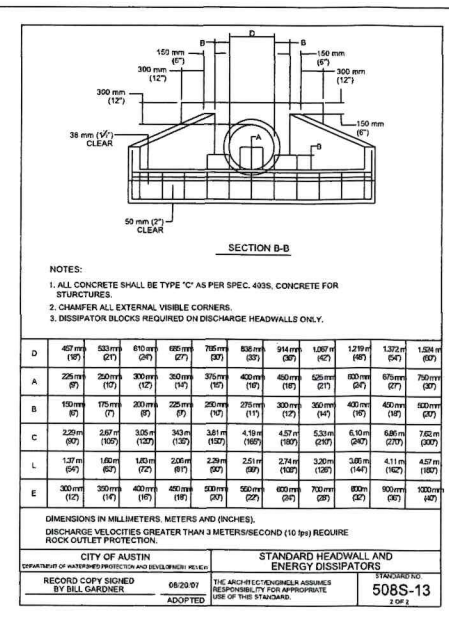
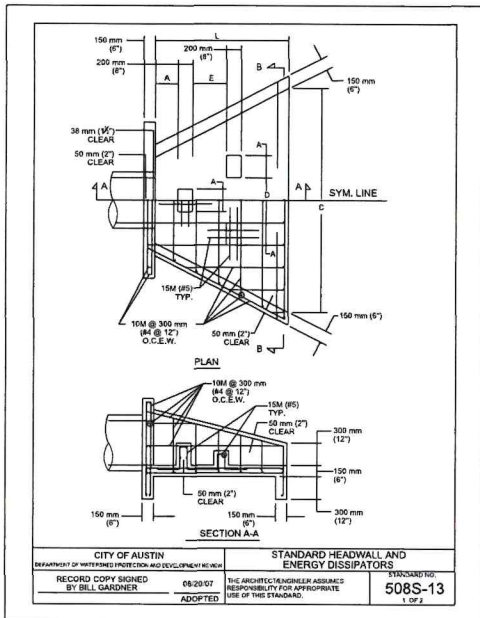
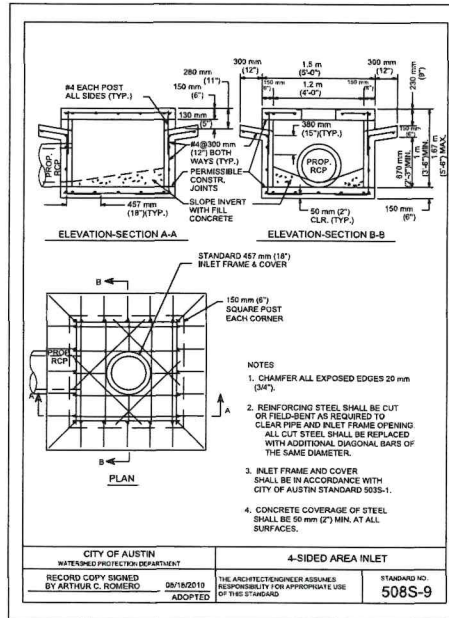
MALONE WHEELER
INC. 1975

CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 260
Austin, Texas 78735-8955
Phone: (512) 407-8800 Fax: (512) 895-0455
Firm Registration No. P-786



DESIGN BY: SC
CHECKED BY: IA
APPROVED BY: DL
DATE: 11/16/2023

SHEET 08



DESTINATION WAY WTP
JONESTOWN, TEXAS

GRADING DETAILS AND STORM SEWER DETAILS 1

MALONE WHEELER
INC. 1975

CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT

5113 Southwest Pkwy, Suite 260
Austin, Texas 78735 895-0455
Phone: (512) 879-9600 Fax: (512) 895-0455
Firm Registration No. 7726

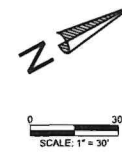
STATE OF TEXAS
DENNIS LOZANO
106147
LICENSED PROFESSIONAL ENGINEER
11.17.23

DESIGN BY: IA
CHECKED BY: PK, SZ
APPROVED BY: DL
DATE: 11/16/2023

SHEET 09

NESTOWN WSPROJECTS003 DW WTPDRAWINGSPLANETREATMENT PLANT09 GRADING AND STORM SEWER DETAILS.DWG. 11/16/2023, ISABEL ARROCHA

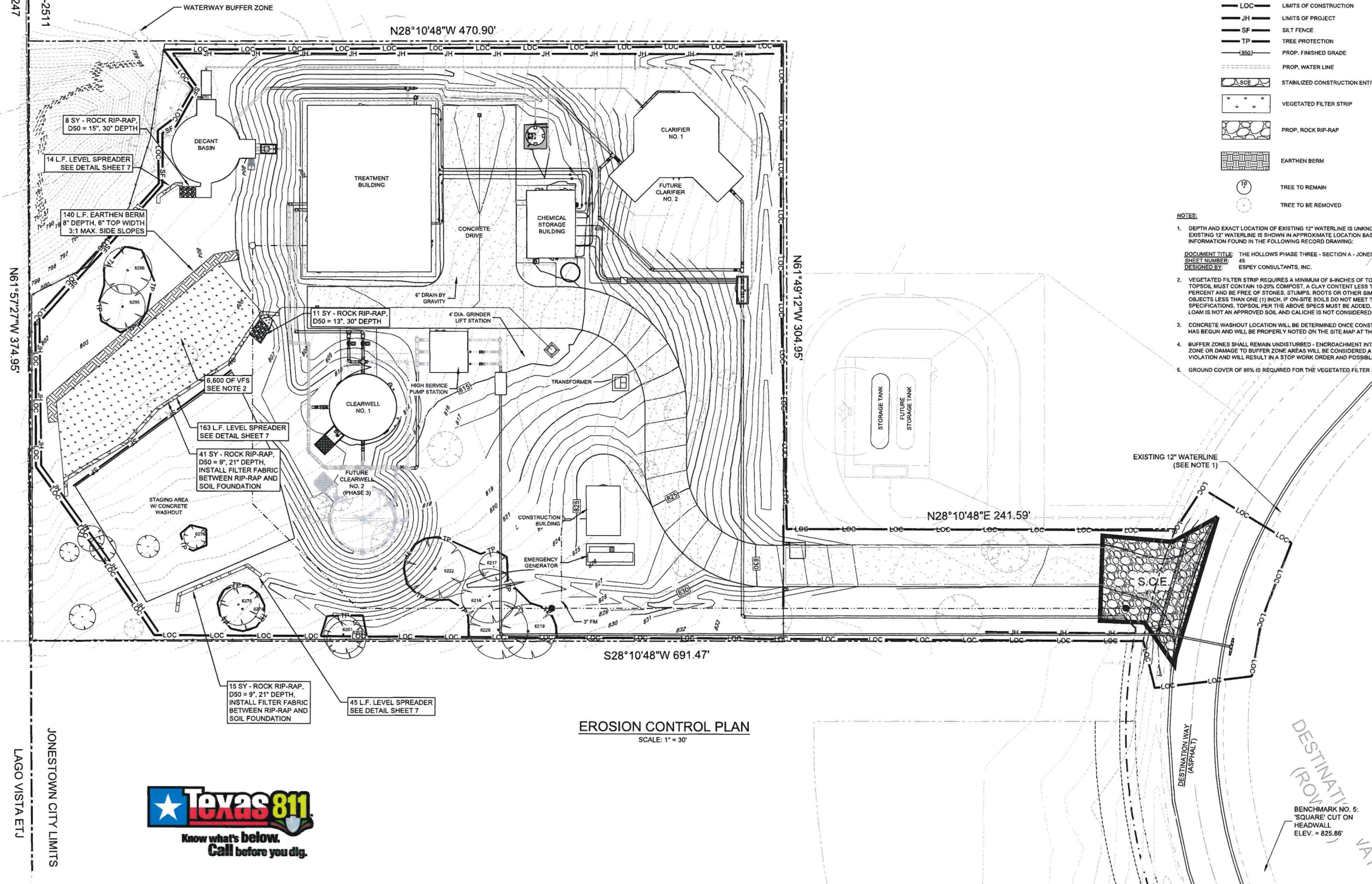
154.689 ACRES
TRACT 9D
THE HOLLOWES ON LAKE TRAVIS, LLC.
DOC. NO. 2018024745
O.P.R.T.C.TX.



D & W RR CO A-247
J. F. CARLTON A-2511

N61°57'27"W 374.95'

JONESTOWN CITY LIMITS
LAGO VISTA ETJ



LEGEND

---	PROPERTY BOUNDARY
- - -	CREEK CENTERLINE
- - -	CREEK BUFFER
LOC	LIMITS OF CONSTRUCTION
JH	LIMITS OF PROJECT
SF	SILT FENCE
TP	TREE PROTECTION
(950)	PROP. FINISHED GRADE
- - -	PROP. WATER LINE
[Symbol]	STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	VEGETATED FILTER STRIP
[Symbol]	PROP. ROCK RIP-RAP
[Symbol]	EARTHEN BERM
(10)	TREE TO REMAIN
(10)	TREE TO BE REMOVED

- NOTES:**
- DEPTH AND EXACT LOCATION OF EXISTING 12" WATERLINE IS UNKNOWN. EXISTING 12" WATERLINE IS SHOWN IN APPROXIMATE LOCATION BASED ON INFORMATION FOUND IN THE FOLLOWING RECORD DRAWING:
DOCUMENT TITLE: THE HOLLOWES PHASE THREE - SECTION A - JONESTOWN
SHEET NUMBER: 45
DESIGNED BY: ESPEY CONSULTANTS, INC.
 - VEGETATED FILTER STRIP REQUIRES A MINIMUM OF 6-INCHES OF TOPSOIL. THE TOPSOIL MUST CONTAIN 10-20% COMPOST. A CLAY CONTENT LESS THAN 20 PERCENT AND BE FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LESS THAN ONE (1) INCH. IF ON-SITE SOILS DO NOT MEET THESE SPECIFICATIONS, TOPSOIL PER THE ABOVE SPECS MUST BE ADDED. SANDY LOAM IS NOT AN APPROVED SOIL, AND CALICHE IS NOT CONSIDERED A SOIL.
 - CONCRETE WASHOUT LOCATION WILL BE DETERMINED ONCE CONSTRUCTION HAS BEGUN AND WILL BE PROPERLY NOTED ON THE SITE MAP AT THAT TIME.
 - BUFFER ZONES SHALL REMAIN UNDISTURBED - ENCROACHMENT INTO A BUFFER ZONE OR DAMAGE TO BUFFER ZONE AREAS WILL BE CONSIDERED A PRIORITY VIOLATION AND WILL RESULT IN A STOP WORK ORDER AND POSSIBLE FINES.
 - GROUND COVER OF 80% IS REQUIRED FOR THE VEGETATED FILTER STRIP AREA.

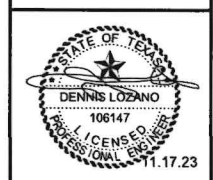
EROSION CONTROL PLAN
SCALE: 1" = 30'



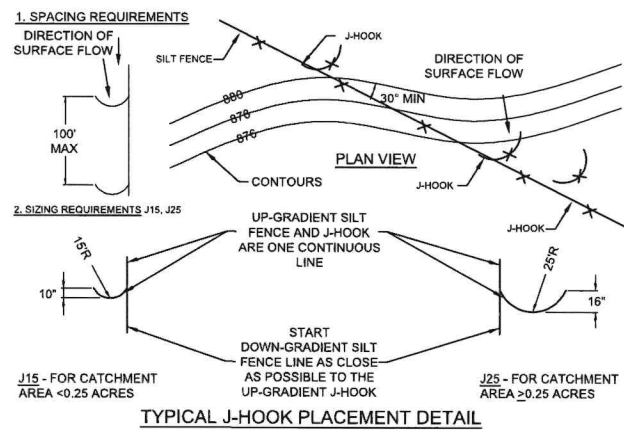
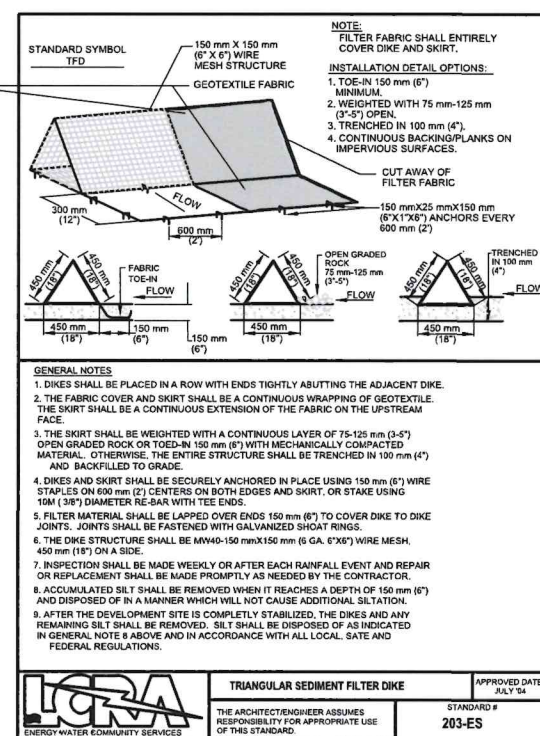
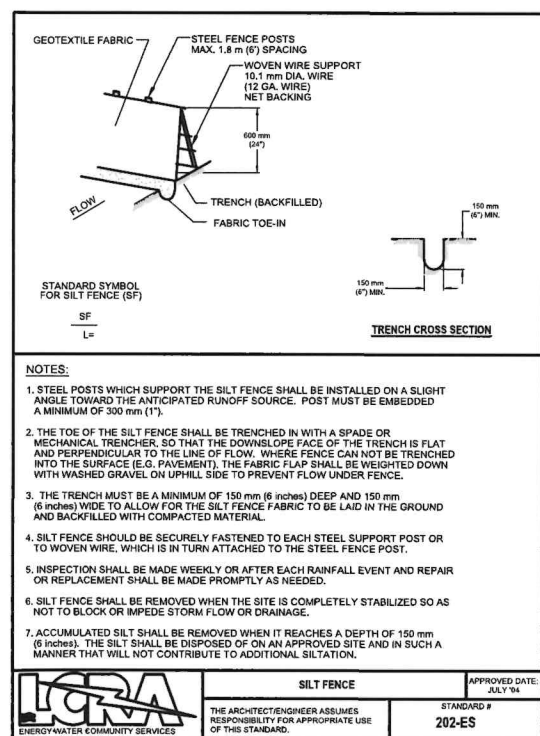
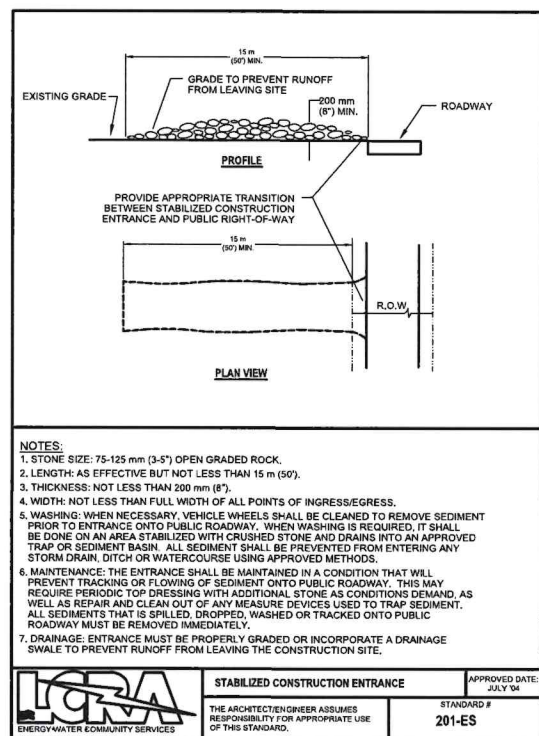
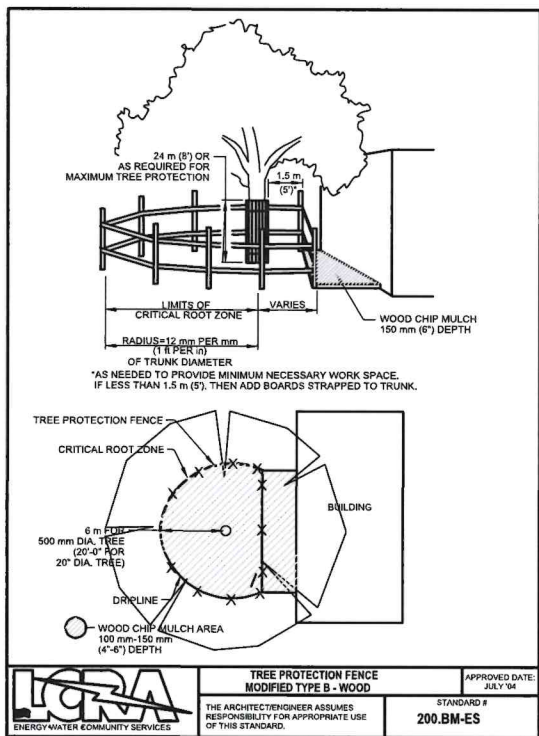
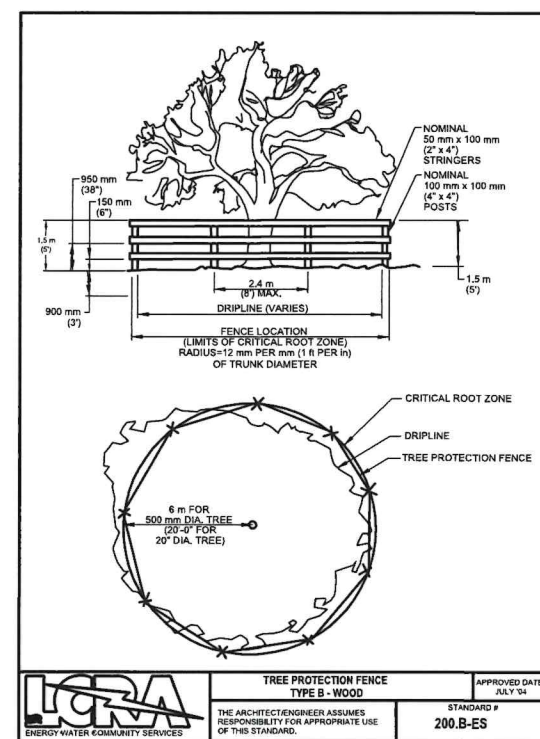
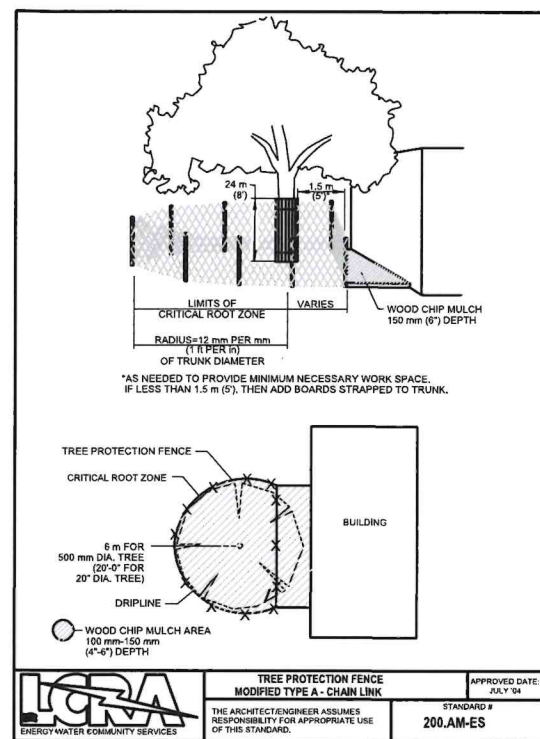
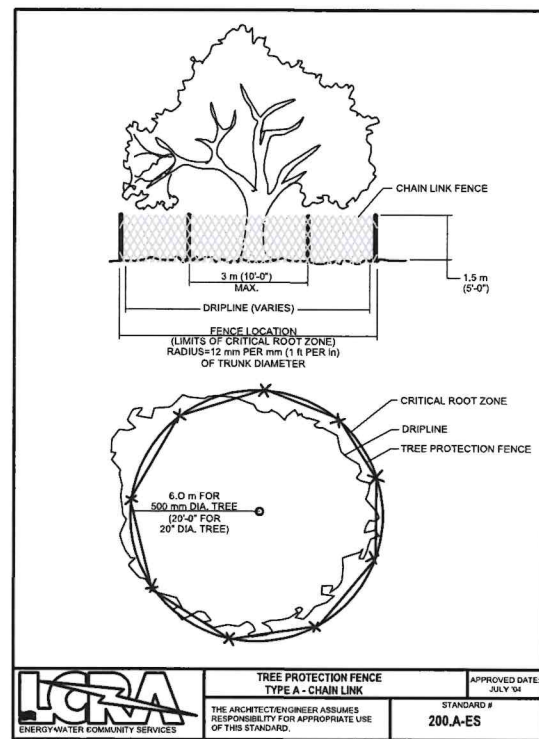
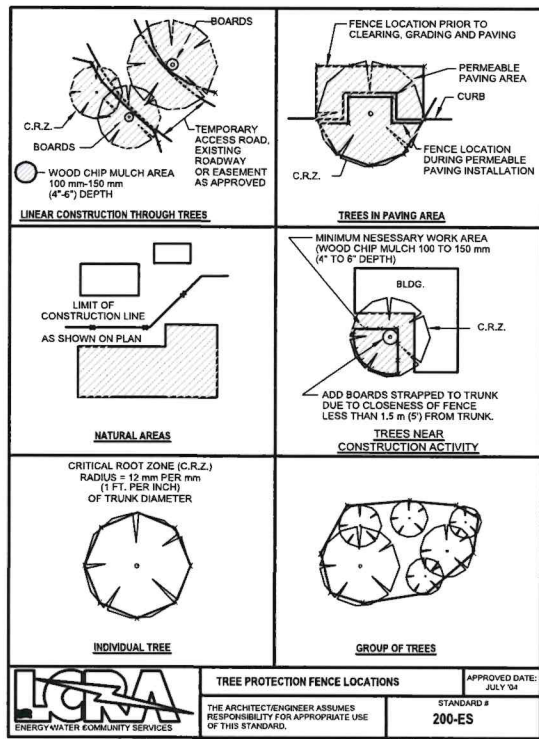
NO.	DATE	REVISION

**DESTINATION WAY WTP
JONESTOWN, TEXAS**
EROSION AND SEDIMENTATION CONTROL PLAN

MALONE WHEELER
INC. 1995
CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 260
Austin, Texas 78735-8895-0455
Phone: (512) 499-8895-0455
Firm Registration No. F-2786



DESIGN BY: BD
CHECKED BY: PK,SZ
APPROVED BY: DL
DATE: 11/16/2023



NOTE: J-HOOKS SHALL BE USED WHEN THE SILT FENCE IS INSTALLED AT AN ANGLE OF 30 DEGREES OR GREATER FROM PARALLEL TO THE CONTOURS.

DESTINATION WTP PROJECT 2000 DW WTP DRAWINGS PLAN WATER TREATMENT PLANT 111 EROSION DETAILS 1.DWG, 11/16/2003, USABEL, ARCOCHA

DESTINATION WAY WTP
JONESTOWN, TEXAS

EROSION DETAILS 1

MALONE WHEELER
INC. 1978
CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 240
Austin, Texas 78735
Phone: (512) 899-0601 Fax: (512) 899-0655
Firm Registration No. F-786

STATE OF TEXAS
DENNIS LOZANO
106147
LICENSED PROFESSIONAL ENGINEER
11.17.23

DESIGN BY: PK
CHECKED BY: PK, SZ
APPROVED BY:
DATE: 10/13/2023

SHEET 11

154.689 ACRES
TRACT 9D
THE HOLLOWES ON LAKE TRAVIS, LLC.
DOC. NO. 2018024745
O.P.R.T.C.TX.



SCALE: 1" = 30'

LEGEND

- PROPERTY BOUNDARY
- - - CREEK CENTERLINE
- - - CREEK BUFFER
- LOC --- LIMIT OF CONSTRUCTION
- [Hatched Box] PROP. HYDROMULCH
- [Cross-hatched Box] PROP. SLOPE MATTING - TYPE AS SPECIFIED
- [Dotted Box] VEGETATED FILTER STRIP
- [Stippled Box] PROP. ROCK RIP-RAP
- [Brick Pattern Box] EARTHEN BERM
- (Circle with 'R') TREE TO REMAIN
- (Circle with 'X') TREE TO BE REMOVED

NOTES

- DEPTH AND EXACT LOCATION OF EXISTING 12" WATERLINE IS UNKNOWN. EXISTING 12" WATERLINE IS SHOWN IN APPROXIMATE LOCATION BASED ON INFORMATION FOUND IN THE FOLLOWING RECORD DRAWING:
DOCUMENT TITLE: THE HOLLOWES PHASE THREE - SECTION A - JONESTOWN
SHEET NUMBER: 45
DESIGNED BY: ESPEY CONSULTANTS, INC.
- VEGETATED FILTER STRIP REQUIRES A MINIMUM OF 6-INCHES OF TOPSOIL. THE TOPSOIL MUST CONTAIN 10-20% COMPOST. A CLAY CONTENT LESS THAN 20 PERCENT AND BE FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LESS THAN ONE (1) INCH. IF ON-SITE SOILS DO NOT MEET THESE SPECIFICATIONS, TOPSOIL PER THE ABOVE SPECS MUST BE ADDED. SANDY LOAM IS NOT AN APPROVED SOIL AND CALICHE IS NOT CONSIDERED A SOIL.
- GROUND COVER OF 80% IS REQUIRED FOR THE VEGETATED FILTER STRIP AREA.

J. F. CARLTON A-2511
D & W RR CO A-247

N61°57'27"W 374.95'

JONESTOWN CITY LIMITS
LAGO VISTA ETJ

160 SY - SLOPE MATTING
CLASS 1 TYPE A
PER LCRA 3.2.11

N28°10'48"W 470.90'

FUTURE
CLARIFIER
NO. 2

N61°49'12"W 304.95'

N28°10'48"E 241.59'

S28°10'48"W 691.47'

220 SY - SLOPE MATTING
CLASS 2 TYPE F
PER LCRA 3.2.11

EXISTING 12" WATERLINE
(SEE NOTE 1)

DESTINATION WAY
(ASPHALT)

DESTINATION WAY
(ROW 70')

BENCHMARK NO. 5:
'SQUARE' CUT ON
HEADWALL
ELEV. = 825.86'



JONESTOWN WSPROJECT 8000 DW WITHDRAWINGSLANESITWATER TREATMENT PLANT112 RESTORATION PLANDWG. 11/17/2023, ISABEL ARROCHA

NO.	DATE	REVISION	BY

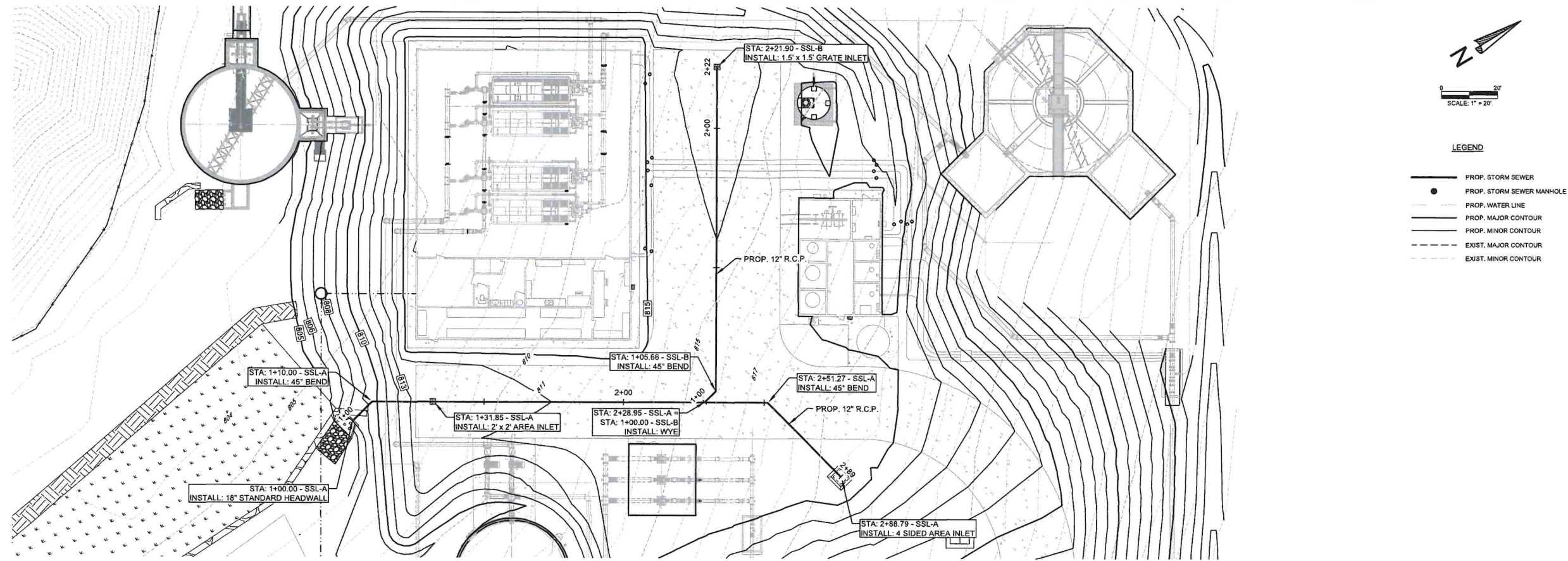
DESTINATION WAY WTP
JONESTOWN, TEXAS
RESTORATION PLAN

MALONE WHEELER
SINCE INC. 1995
CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 260
Austin, Texas 78735
Phone: (512) 899-0601 Fax: (512) 899-0655
Firm Registration No. F-786



DESIGN BY: BD
CHECKED BY: PK, SZ
APPROVED BY: DL
DATE: 5/18/2023

ESTOWN WSPROJECT18003 DWYTPDRAWINGSPLANSWATER TREATMENT PLANT113 12 INCH STORM SEWER.DWG. 11/16/2023, ISABEL ARROCHA



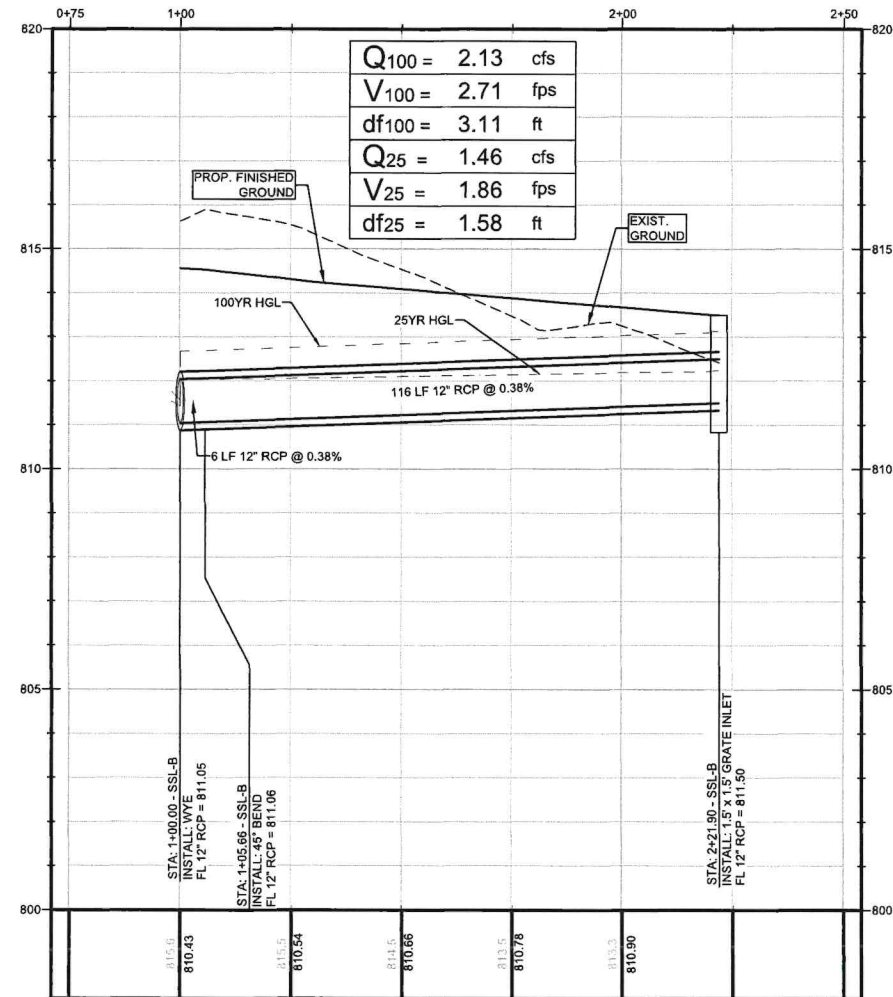
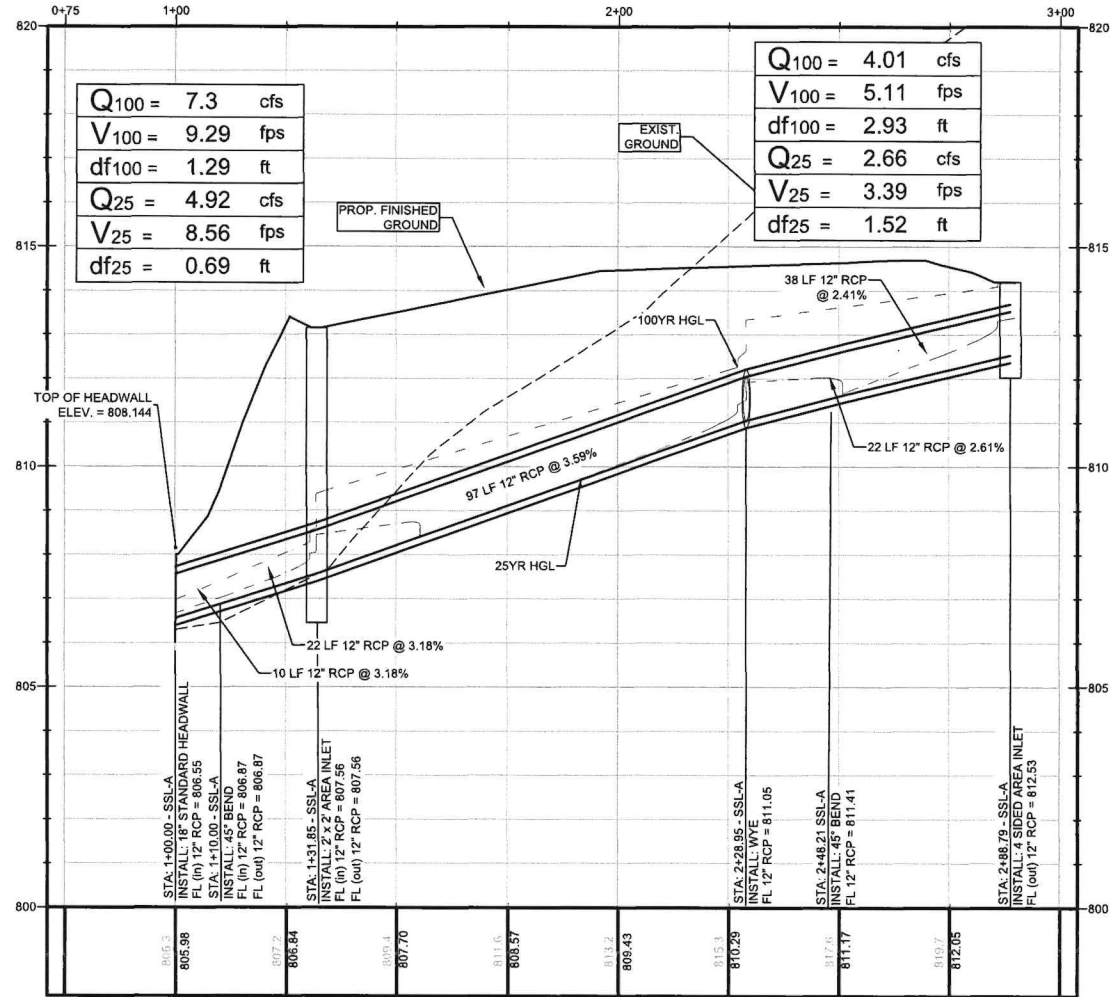
0 20'
SCALE: 1" = 20'

LEGEND

- PROP. STORM SEWER
- PROP. STORM SEWER MANHOLE
- PROP. WATER LINE
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- - - EXIST. MAJOR CONTOUR
- - - EXIST. MINOR CONTOUR

SSL-A

SSL-B



PROFILE SCALE:
1" = 20' HORIZ.
1" = 2' VERT.

DESTINATION WAY WTP
JONESTOWN, TRAVIS COUNTY, TEXAS

12 INCH STORM SEWER

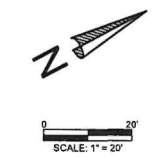
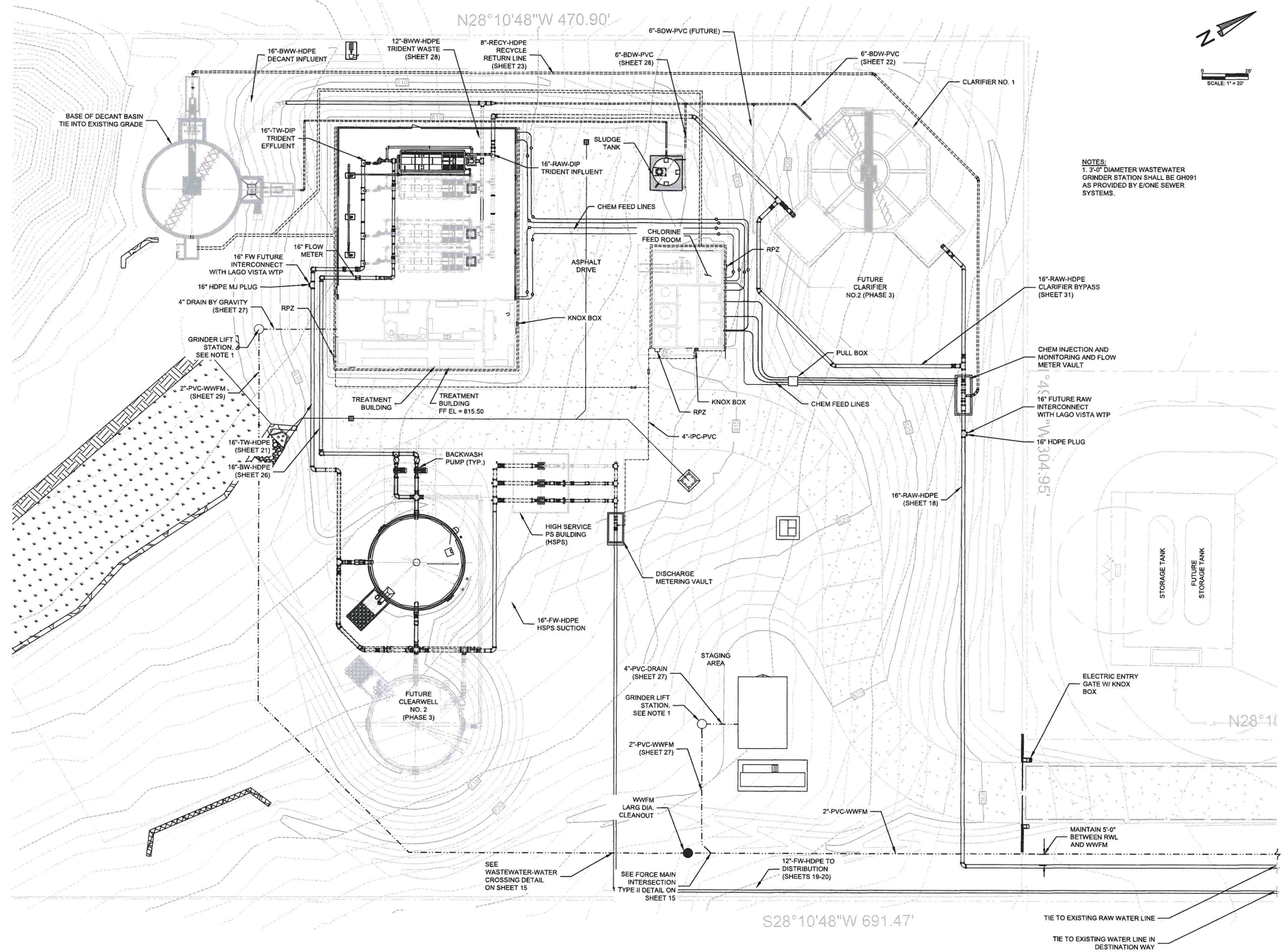
MALONE WHEELER
SINCE INC. 1995

CIVIL ENGINEERING • DEVELOPMENT CONSULTING & PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 260
Dallas, Texas 75240
Phone: (512) 892-0400 • Fax: (512) 892-0655
Firm Registration No. F-786



DESIGN BY: CH
CHECKED BY: IA
APPROVED BY: DL
DATE: 11/14/2023

JONESTOWN WWT PROJECT 3003 DW WTP DRAWINGS PLANET WATER TREATMENT PLANT 14 YARD PIPING PLANDWG, 11/16/2023, ISABEL ARROCHA



NOTES:
 1. 3'-0" DIAMETER WASTEWATER GRINDER STATION SHALL BE GH091 AS PROVIDED BY E/ONE SEWER SYSTEMS.

NO.	DATE	REVISION

**DESTINATION WAY WTP
 JONESTOWN, TEXAS
 YARD PIPING PLAN**

MALONE WHEELER
 SINCE INC. 1975
 CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT
 5113 Southwest Pkwy, Suite 260
 Austin, Texas 78735
 Phone: (512) 899-0601 Fax: (512) 899-0655
 Firm Registration No. F-786

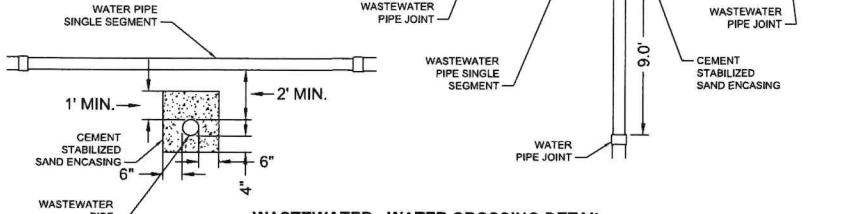


DESIGN BY: PAULK
 CHECKED BY: PK.SZ
 APPROVED BY:
 DATE: 11/2/2023

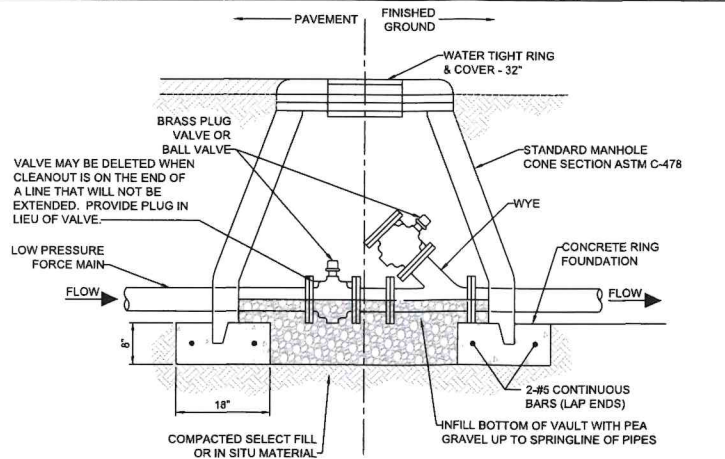
NESTOWN WSC PROJECT 3300 DWG WTP DRAWINGS PLANT 15 SANITARY SEWER DETAIL SDWG, 11/16/2023, ISABEL ARCOCHA

WASTEWATER - WATER CROSSING NOTES:

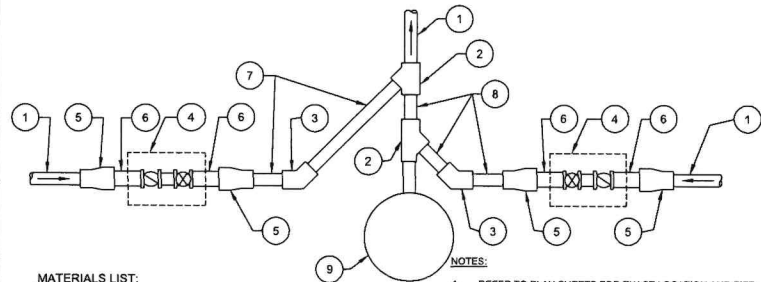
- 1. MINIMUM 10% CEMENT PER CUBIC YARD OF CEMENT STABILIZED SAND MIXTURE, BASED ON LOOSE DRY WEIGHT VOLUME.
- 2. SINGLE SEGMENT OF WATER LINE PIPE TO BE CENTERED OVER WASTEWATER PIPE SUCH THAT THE JOINTS OF THE WATER LINE ARE EQUIDISTANT AND AT LEAST 9' FROM THE WASTEWATER PIPE.
- 3. CENTER WASTEWATER PIPE SEGMENT AT CROSSING
- 4. CEMENT STABILIZED SAND TO EXTEND AT LEAST 1' PAST JOINTS AT EACH END OF FORCE MAIN SEGMENT.
- 5. WASTEWATER PIPE AND JOINTS SHALL BE CONSTRUCTED WITH PIPE MATERIAL HAVING A MINIMUM PRESSURE RATING OF AT LEAST 150 PSI.



WASTEWATER - WATER CROSSING DETAIL
(WHERE SEPARATION FROM O.D. TO O.D. IS LESS THAN 9 FT)



LOW PRESSURE FORCE MAIN CLEANOUT DETAIL
N.T.S.



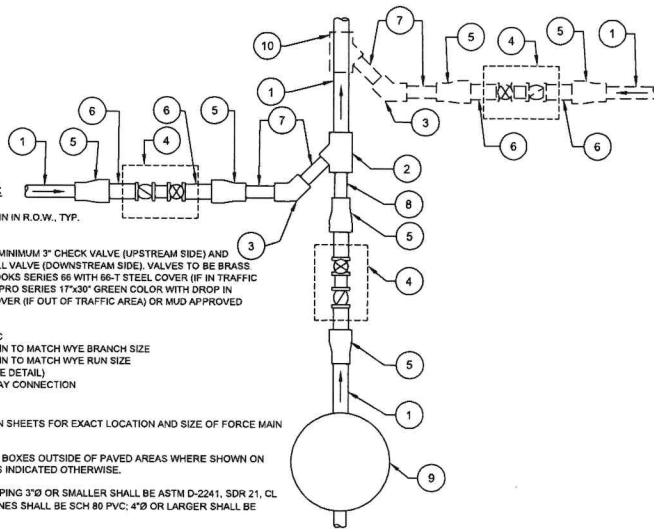
MATERIALS LIST:

- 1. PVC FORCE MAIN IN R.O.W., TYP.
- 2. PVC WYE
- 3. PVC 45° BEND
- 4. VALVE BOX W/ MINIMUM 3" CHECK VALVE (UPSTREAM SIDE) AND MINIMUM 3" BALL VALVE (DOWNSTREAM SIDE). VALVES TO BE BRASS. BOX TO BE BROOKS SERIES 66 WITH 66-T STEEL COVER (IF IN TRAFFIC AREA) OR NDS PRO SERIES 17x30" GREEN COLOR WITH DROP IN BOLT DOWN COVER (IF OUT OF TRAFFIC AREA) OR MUD APPROVED EQUAL.
- 5. PVC REDUCER
- 6. MINIMUM 3" PVC PIPE
- 7. PVC FORCE MAIN TO MATCH WYE BRANCH SIZE
- 8. PVC FORCE MAIN TO MATCH WYE RUN SIZE
- 9. CLEAN OUT (SEE DETAIL)

NOTES:

- A. REFER TO PLAN SHEETS FOR EXACT LOCATION AND SIZE OF FORCE MAIN PIPING.
- B. LOCATE VALVE BOXES OUTSIDE OF PAVED AREAS WHERE SHOWN ON PLANS, UNLESS INDICATED OTHERWISE.
- C. FORCE MAIN PIPING 3"Ø OR SMALLER SHALL BE ASTM D-2241, SDR 21, CL 200 PVC; 1/2" LINES SHALL BE SCH 80 PVC; 1"Ø OR LARGER SHALL BE C900, DR 14.
- D. FORCE MAINS SHALL HAVE A MINIMUM OF 18" COVER IN UNPAVED AREAS AND 36" COVER WHEN INSTALLED UNDER STREETS.

FORCE MAIN INTERSECTION TYPE I
N.T.S.



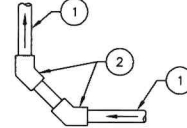
MATERIALS LIST:

- 1. PVC FORCE MAIN IN R.O.W., TYP.
- 2. PVC WYE
- 3. PVC 45° BEND
- 4. VALVE BOX W/ MINIMUM 3" CHECK VALVE (UPSTREAM SIDE) AND MINIMUM 3" BALL VALVE (DOWNSTREAM SIDE). VALVES TO BE BRASS. BOX TO BE BROOKS SERIES 66 WITH 66-T STEEL COVER (IF IN TRAFFIC AREA) OR NDS PRO SERIES 17x30" GREEN COLOR WITH DROP IN BOLT DOWN COVER (IF OUT OF TRAFFIC AREA) OR MUD APPROVED EQUAL.
- 5. PVC REDUCER
- 6. MINIMUM 3" PVC
- 7. PVC FORCE MAIN TO MATCH WYE BRANCH SIZE
- 8. PVC FORCE MAIN TO MATCH WYE RUN SIZE
- 9. CLEAN OUT (SEE DETAIL)
- 10. FOR A FOUR-WAY CONNECTION

NOTES:

- A. REFER TO PLAN SHEETS FOR EXACT LOCATION AND SIZE OF FORCE MAIN PIPING.
- B. LOCATE VALVE BOXES OUTSIDE OF PAVED AREAS WHERE SHOWN ON PLANS, UNLESS INDICATED OTHERWISE.
- C. FORCE MAIN PIPING 3"Ø OR SMALLER SHALL BE ASTM D-2241, SDR 21, CL 200 PVC; 1/2" LINES SHALL BE SCH 80 PVC; 4"Ø OR LARGER SHALL BE C900, DR 14.
- D. FORCE MAINS SHALL HAVE A MINIMUM OF 18" COVER IN UNPAVED AREAS AND 36" COVER WHEN INSTALLED UNDER STREETS.

FORCE MAIN INTERSECTION TYPE II
N.T.S.



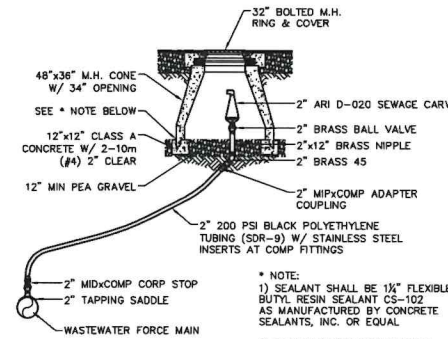
MATERIALS LIST:

- 1. PVC FORCE MAIN IN R.O.W., TYP.
- 2. PVC 45° BEND

NOTES:

- A. REFER TO PLAN SHEETS FOR EXACT LOCATION AND SIZE OF FORCE MAIN PIPING.
- B. FORCE MAIN PIPING 3"Ø OR SMALLER SHALL BE ASTM D-2241, SDR 21, CL 200 PVC; 1/2" LINES SHALL BE SCH 80 PVC; 4"Ø OR LARGER SHALL BE C900, DR 14.
- C. FORCE MAINS SHALL HAVE A MINIMUM OF 36" COVER IN UNPAVED AREAS AND 48" COVER WHEN INSTALLED UNDER STREETS.

90° TURN



WASTEWATER COMBINATION AIR/VACUUM RELEASE VALVE
NOT TO SCALE

DESTINATION WAY WTP
JONESTOWN, TEXAS

SANITARY SEWER DETAILS

MALONE WHEELER
INC. 1978

CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT

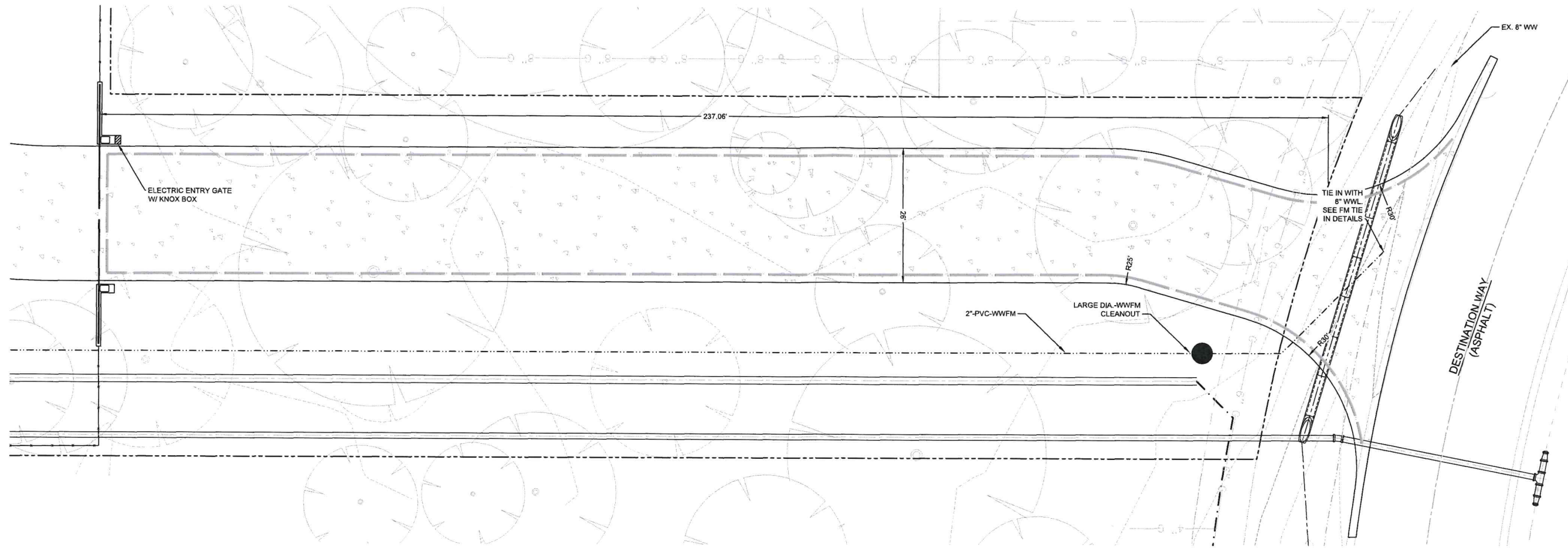
5113 Southwest Pkwy, Suite 260
Austin, Texas 78735
Phone: (512) 899-0601 Fax: (512) 899-0655
Firm Registration No. F-766



DESIGN BY: DAVIDJ
CHECKED BY: PK.SZ
APPROVED BY:
DATE: 11/16/2023

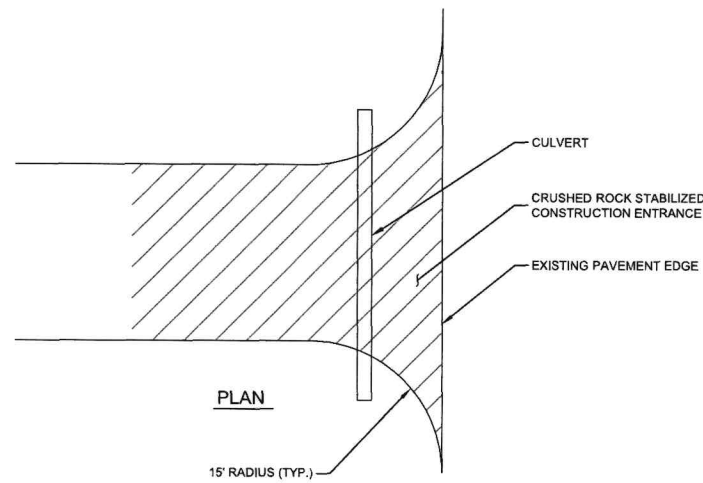
SHEET 15

JONESTOWN WSPROJECT300.DWG WTPDRAWINGSPLANETREATMENT PLANT16 DRIVEWAY PLANDWG, 11/16/2023, ISABEL_ARCOCHA

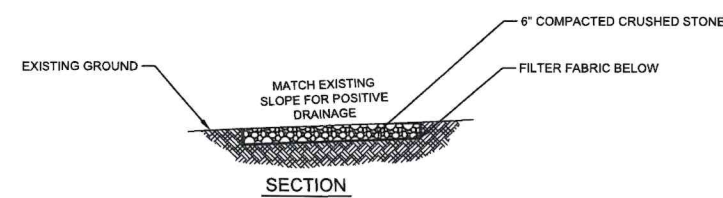


TEMPORARY ACCESS DRIVE PLAN

SCALE: 1" = 10'



PLAN



SECTION



0 10'
SCALE: 1" = 10'

LEGEND

---	PROP. ROW
---	PROP. FACE OF CURB
---	PROP. CENTER LINE
---	PROP. FIRE LANE

NOTES:

1. CRUSHED STONE FOR CONSTRUCTION ENTRANCE SHALL BE 2'-3" AT GREATEST DIMENSION AND SHALL BE INSTALLED TO A COMPACTED DEPTH OF SIX INCHES.
2. FILTER FABRIC IS TO BE MIRAFI 100X OR EQUAL IF CONSTRUCTION ENTRANCE CROSSES A DRAINAGE DITCH, SWALE, ETC., A DRAINAGE PIPE SHALL BE INSTALLED WITH A MIN. 12" OF COVER OVER CRUSHED STONE.
3. REMOVE AND DISPOSE OF OFF-SITE STABILIZED CONSTRUCTION ENTRANCE WHEN PROJECT IS COMPLETE.
4. REPAIR ALL DAMAMGE INCLUDING RE-GRADING AND RE-GRASSING.

TEMPORARY ACCESS DRIVE DETAIL

N.T.S.

NO.	DATE	REVISION	BY

**DESTINATION WAY WTP
JONESTOWN, TEXAS**

DRIVEWAY PLAN

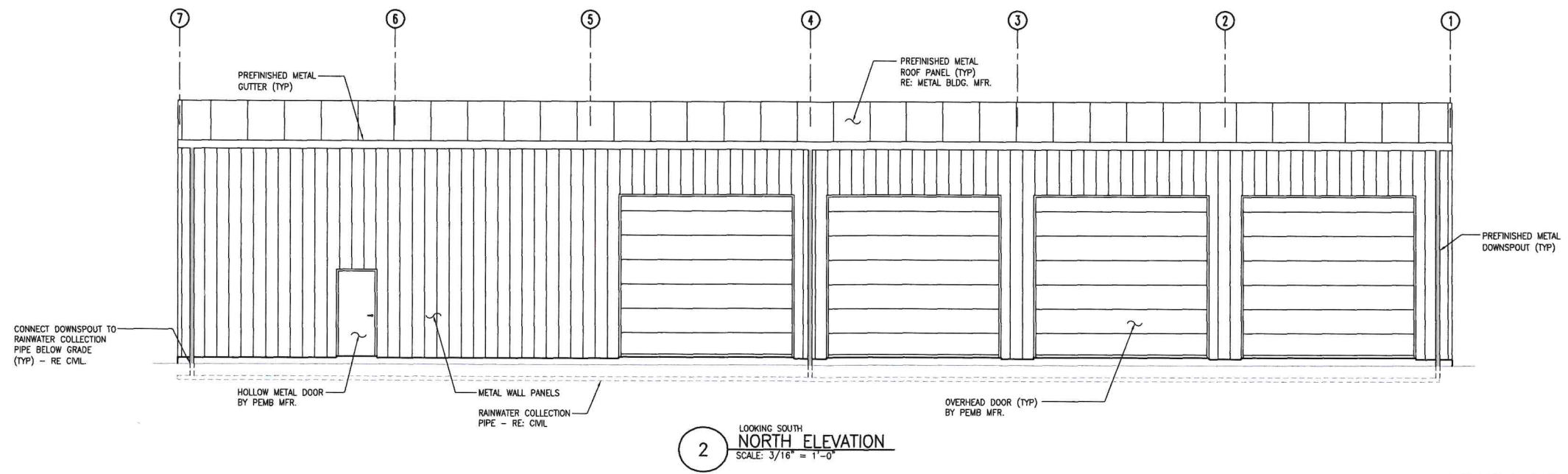
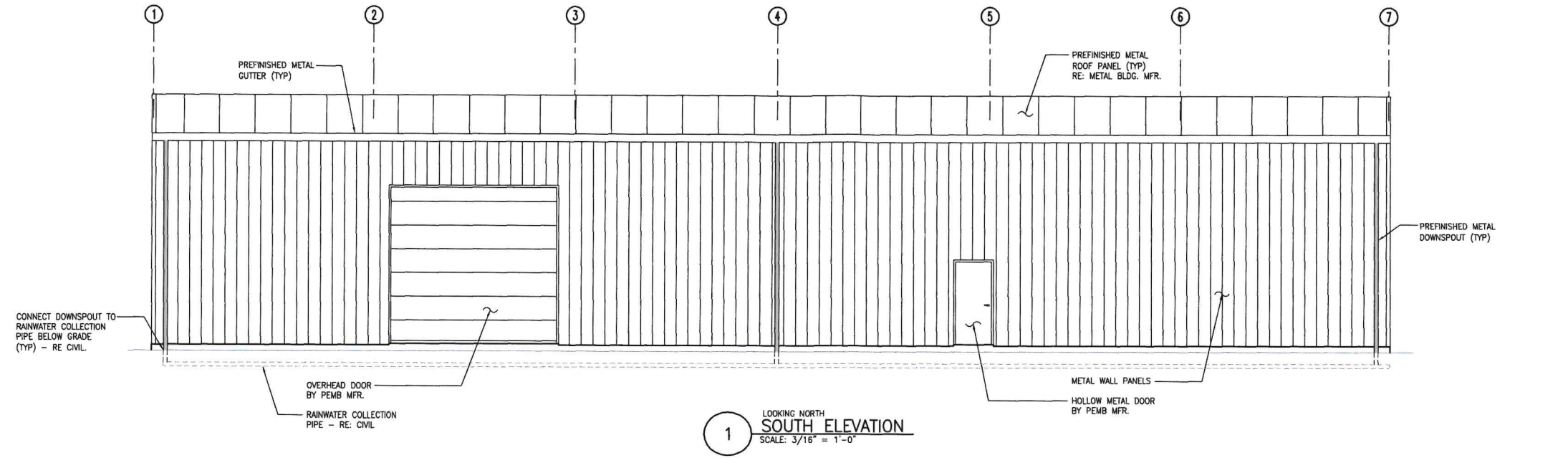
MALONE ★ WHEELER
SINCE 1975
INC.

CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT

5113 Southwest Pkwy, Suite 240
Austin, Texas 78735
Phone: (512) 899-0601 Fax: (512) 899-0655
Firm Registration No. F-786



DESIGN BY: PAULK
CHECKED BY: PK,SZ
APPROVED BY:
DATE: 11/8/2023



NO.	DATE	REVISION	BY

**DESTINATION WAY WTP
JONESTOWN, TEXAS**

TREATMENT BUILDING EXTERIOR ELEVATIONS

MALONE WHEELER
SINCE INC. 1995

CIVIL ENGINEERING * DEVELOPMENT CONSULTING * PROJECT MANAGEMENT

5113 Southview Pkwy, Suite 260
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Phone: (512) 899-0601 Fax: (512) 899-0655
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NAME: LUIS G. CARO
P.E. No: 116830
DATE: 11/14/2023

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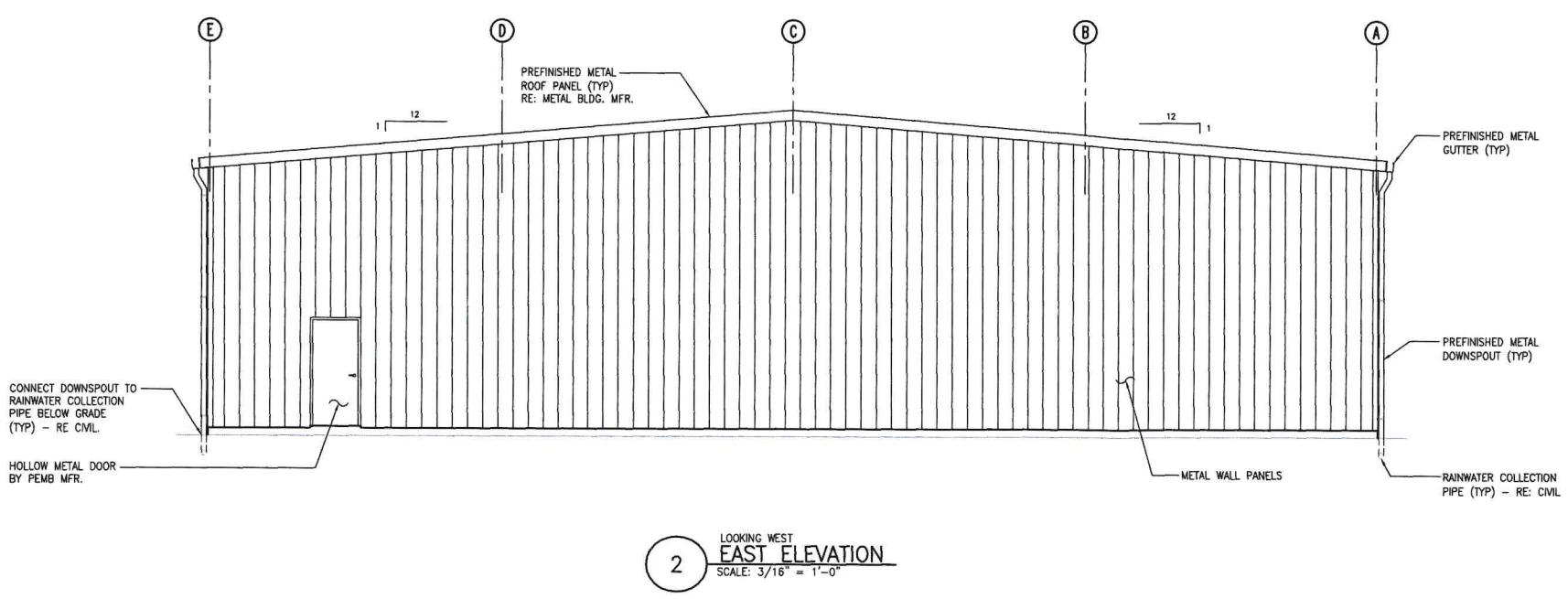
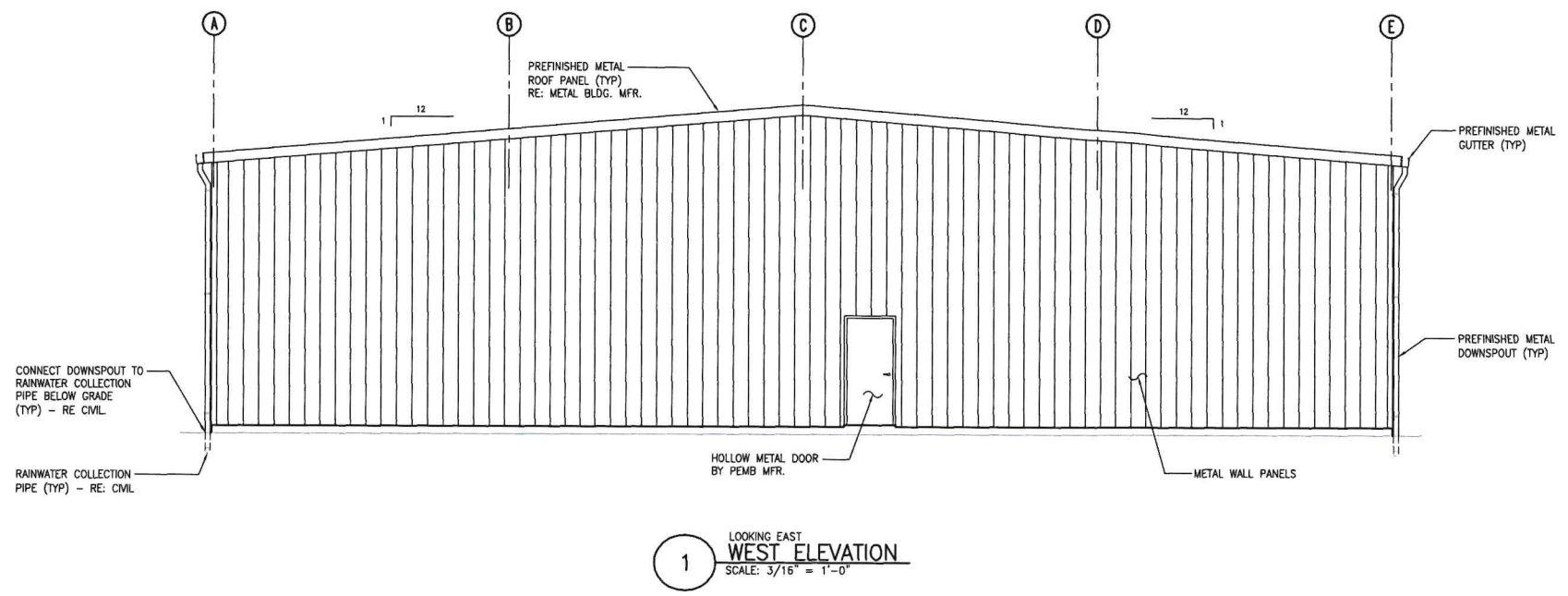
PKA
Pickett, Kelm & Associates, Inc.
Consulting Structural Engineers

4100 Dual Road, Bldg. 4, Suite 103
Austin, Texas 78750 • Phone 512-345-5538

DESIGN BY: ARB/LGC
CHECKED BY: LGC
APPROVED BY: LGC
DATE: 11/14/2023

SHEET 17
OF 24

S3-6



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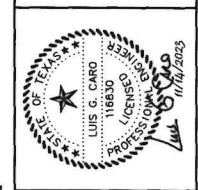
**DESTINATION WAY WTP
 JONESTOWN, TEXAS**

TREATMENT BUILDING EXTERIOR ELEVATIONS

MALONE WHEELER
 SINCE INC. 1995

CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT

5113 Southwest Pkwy, Suite 260
 Austin, Texas 78735
 Phone: (512) 899-0601 Fax: (512) 899-0655
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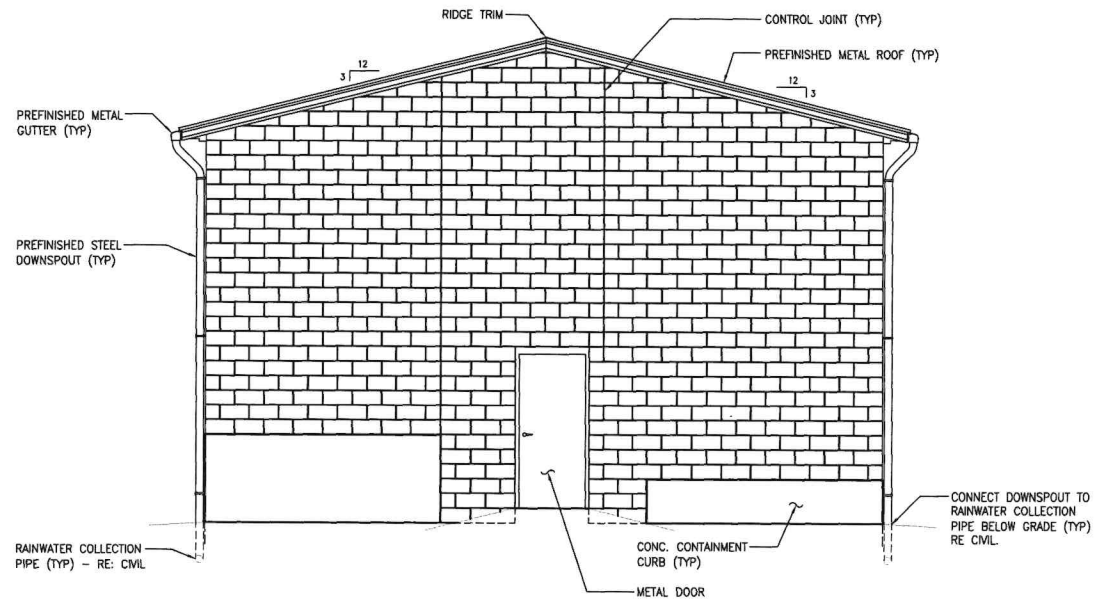
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S3-7
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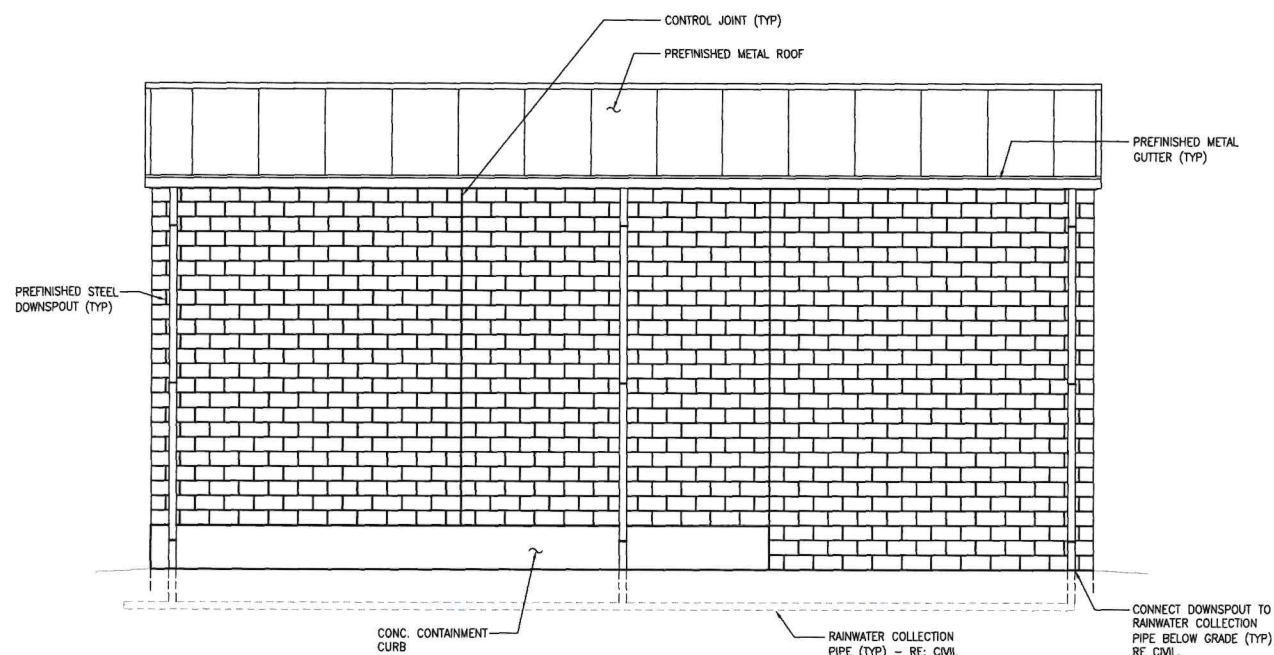
PKA
 Pickett, Kelm & Associates, Inc.
 Consulting Structural Engineers
 4100 Duval Road, Bldg 4, Suite 103
 Austin, Texas 78758 • Phone 512-345-5538

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 DATE: 11/14/2023

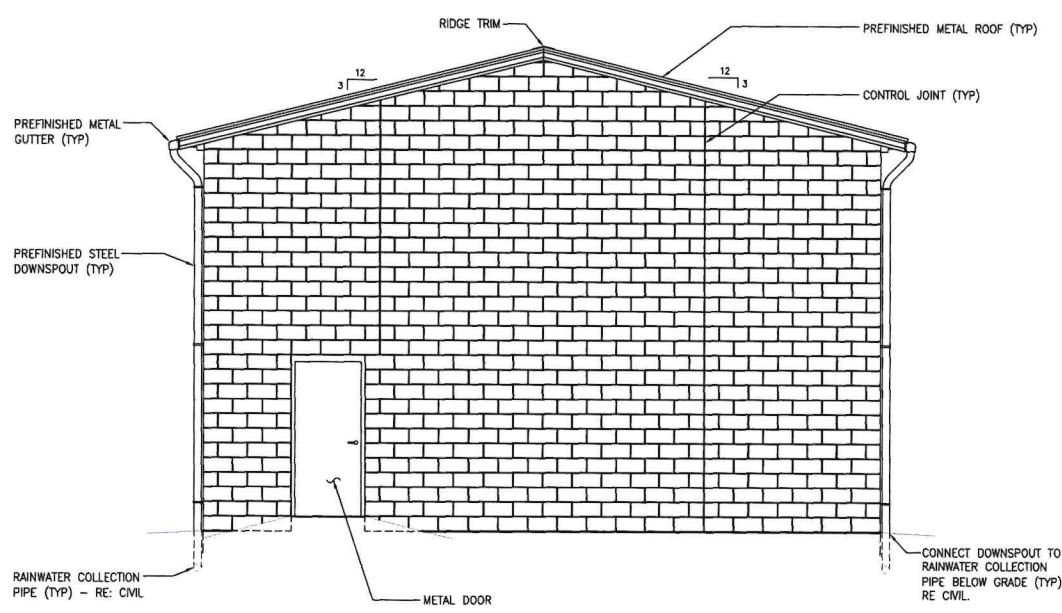
SHEET 18
 OF 24



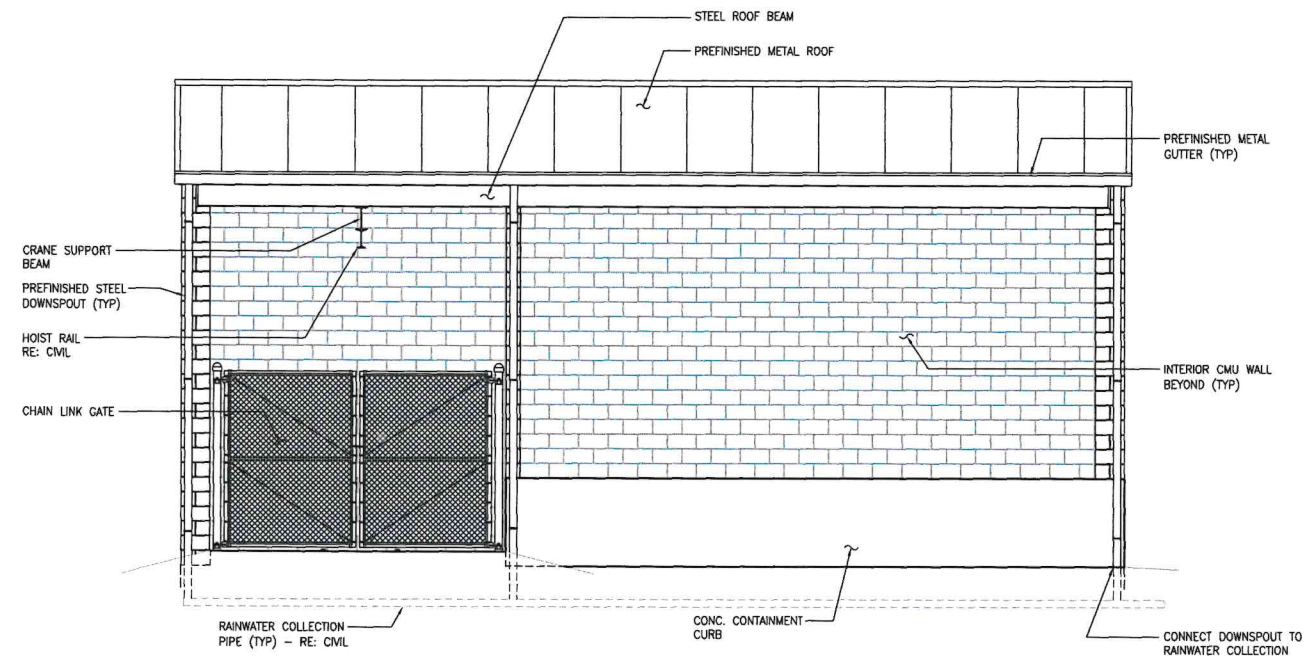
1 LOOKING NORTHWEST
SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



2 LOOKING SOUTHWEST
NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



3 LOOKING SOUTHEAST
NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



4 LOOKING NORTHEAST
SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION

DESTINATION WAY WTP
JONESTOWN, TEXAS
CHEMICAL BUILDING EXTERIOR ELEVATIONS

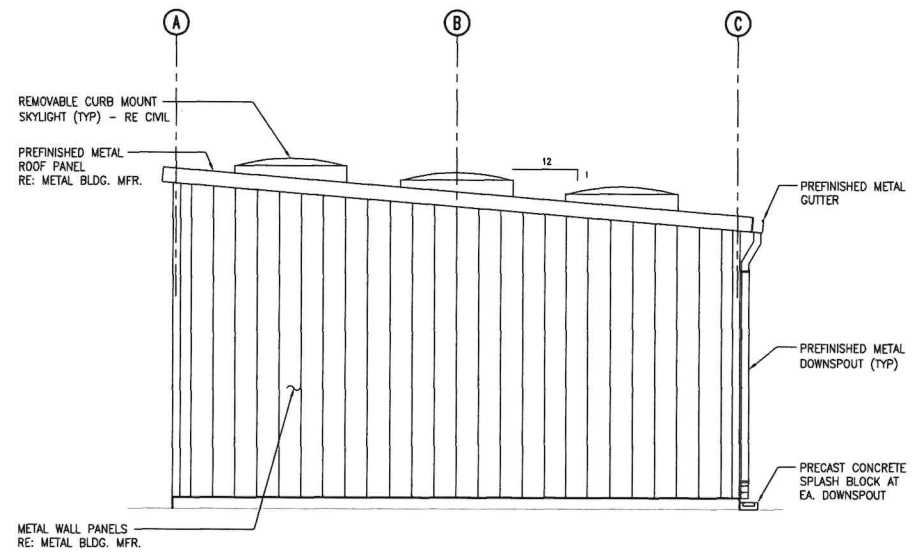
MALONE WHEELER
INC. INC. 1993
CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 260
Austin, Texas 78735
Phone: (512) 899-0601 Fax: (512) 899-0655
Firm Registration No. F-786



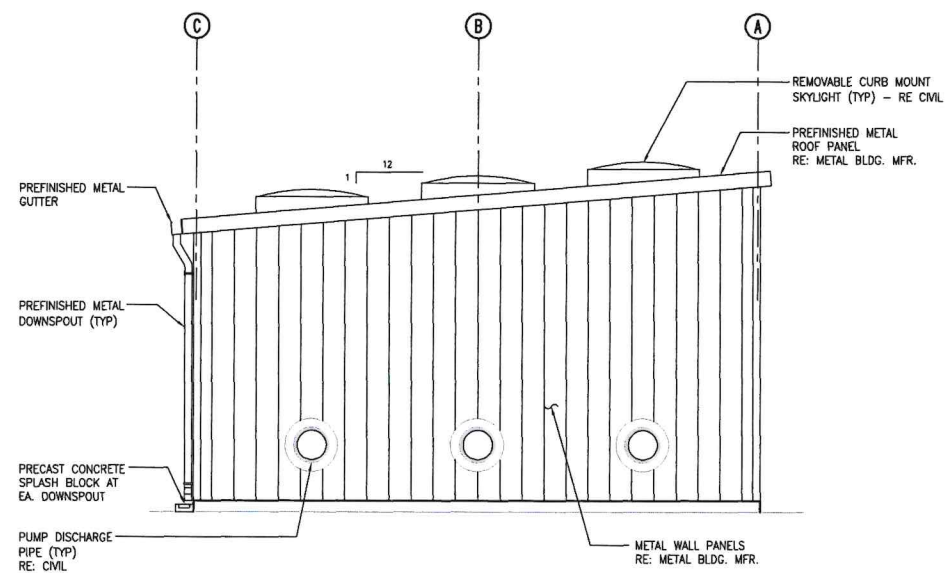
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S4-10
011-5730
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Consulting Structural Engineers
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Austin, Texas 78759 • Phone 512-345-5538

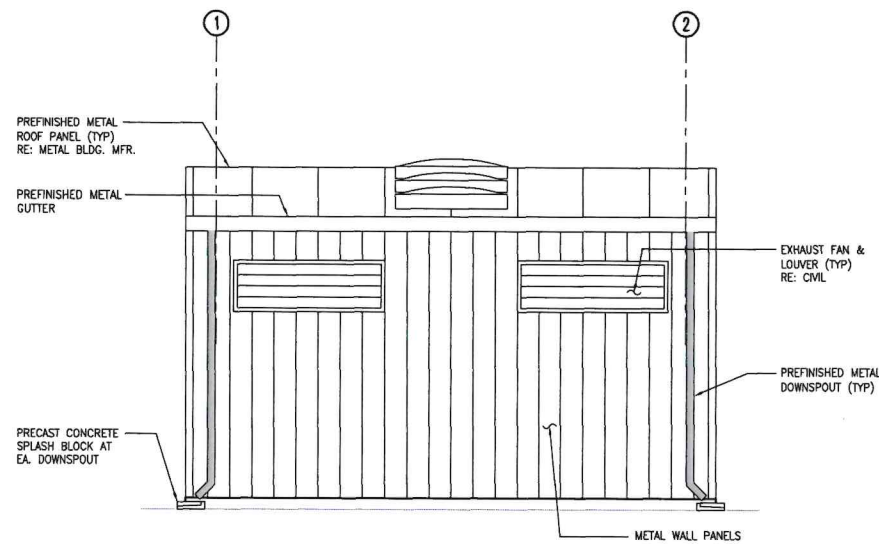
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CHECKED BY: LGC
APPROVED BY: LGC
DATE: 11/14/2023
SHEET 19
OF 24



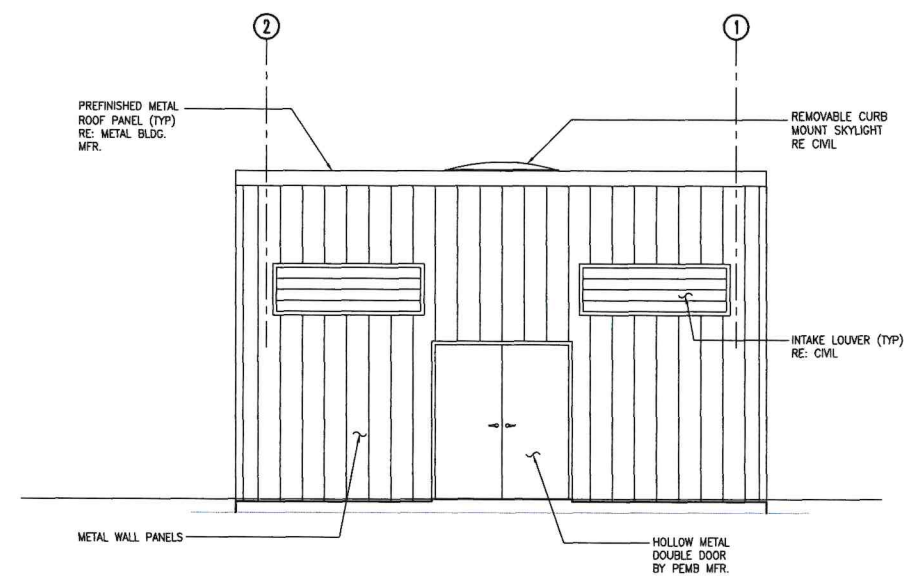
1 LOOKING NORTHEAST
SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



2 LOOKING SOUTHWEST
NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



3 LOOKING NORTHWEST
SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



4 LOOKING SOUTHEAST
NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

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PKA
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Consulting Structural Engineers
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Austin, Texas 78759 • Phone 512-345-5538

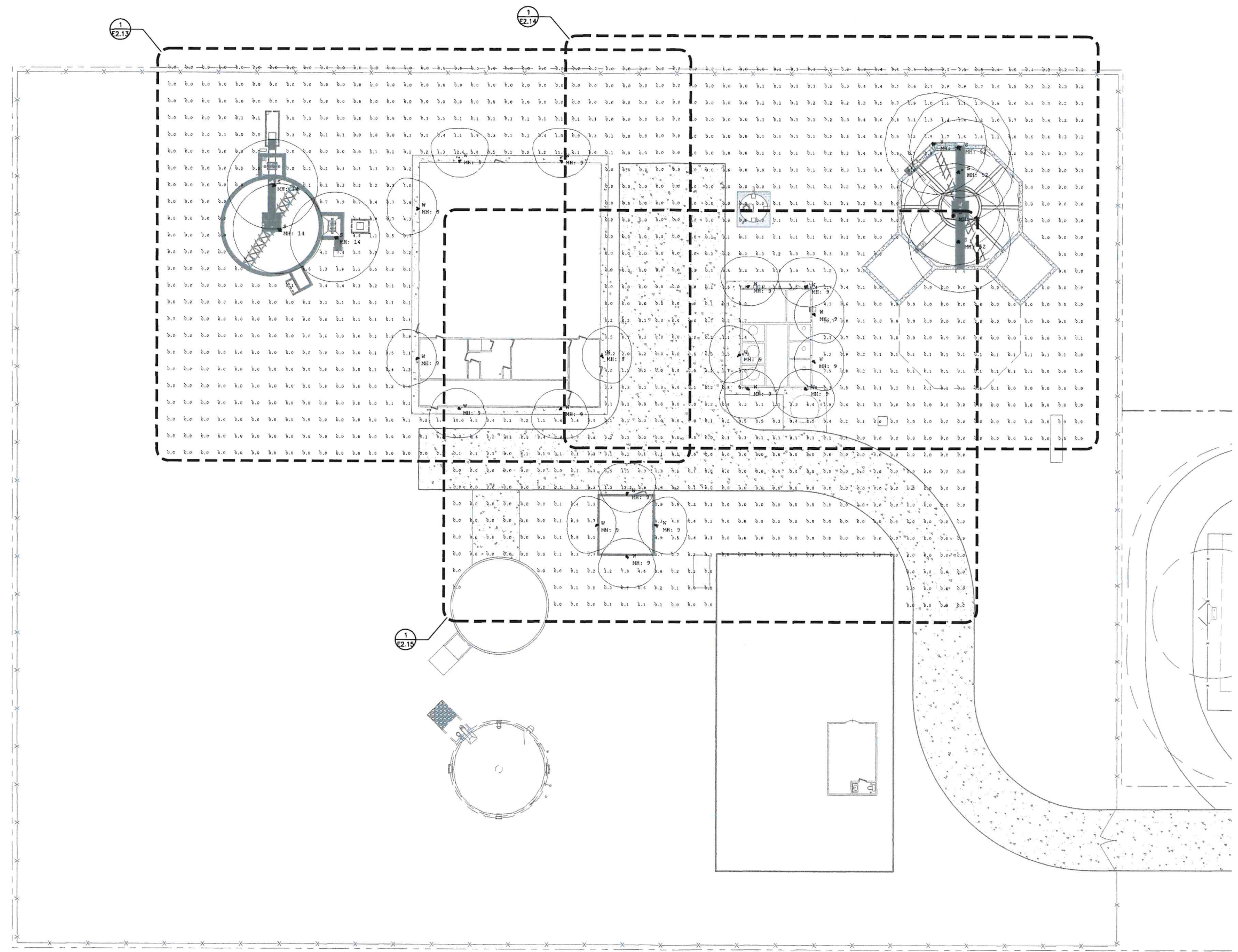
NO.	DATE	REVISION	BY

DESTINATION WAY WTP
JONESTOWN, TEXAS
HIGH SERVICE PUMP BUILDING ELEVATIONS

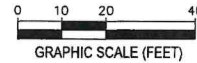
MALONE ★ WHEELER
SINCE INC. 1995
CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT
5113 Southwest Pkwy, Suite 240
Austin, Texas 78735
Phone: (512) 899-0601 Fax: (512) 899-0655
Firm Registration No. F-786



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CHECKED BY: LGC
APPROVED BY: LGC
DATE: 11/14/2023
SHEET 20
OF 24



1 **ELECTRICAL PHOTOMETRICS OVERALL SITE PLAN**
 SCALE: 1"=20'-0"



E2.12

SKE
 S. Kanetzky
 Engineering, LLC.
 14425 Falcon Head Blvd.
 Building B, Suite 100
 Bee Cave, Texas 78738
 (512) 326-3380
 www.skaneng.com
 TBPE Firm No. F-2356
 SKE PROJECT # 3880121

NO.	DATE	REVISION	BY

**DESTINATION WAY WTP
 JONESTOWN, TEXAS**

**ELECTRICAL PHOTOMETRICS OVERALL
 SITE PLAN**

MALONE ★ WHEELER
 SINCE INC. 1975

CIVIL ENGINEERING ★ DEVELOPMENT CONSULTING ★ PROJECT MANAGEMENT
 5113 Southwest Pkwy, Suite 260
 Austin, Texas 78735
 Phone: (512) 899-0461 Fax: (512) 899-0455
 Firm Registration No. F-786

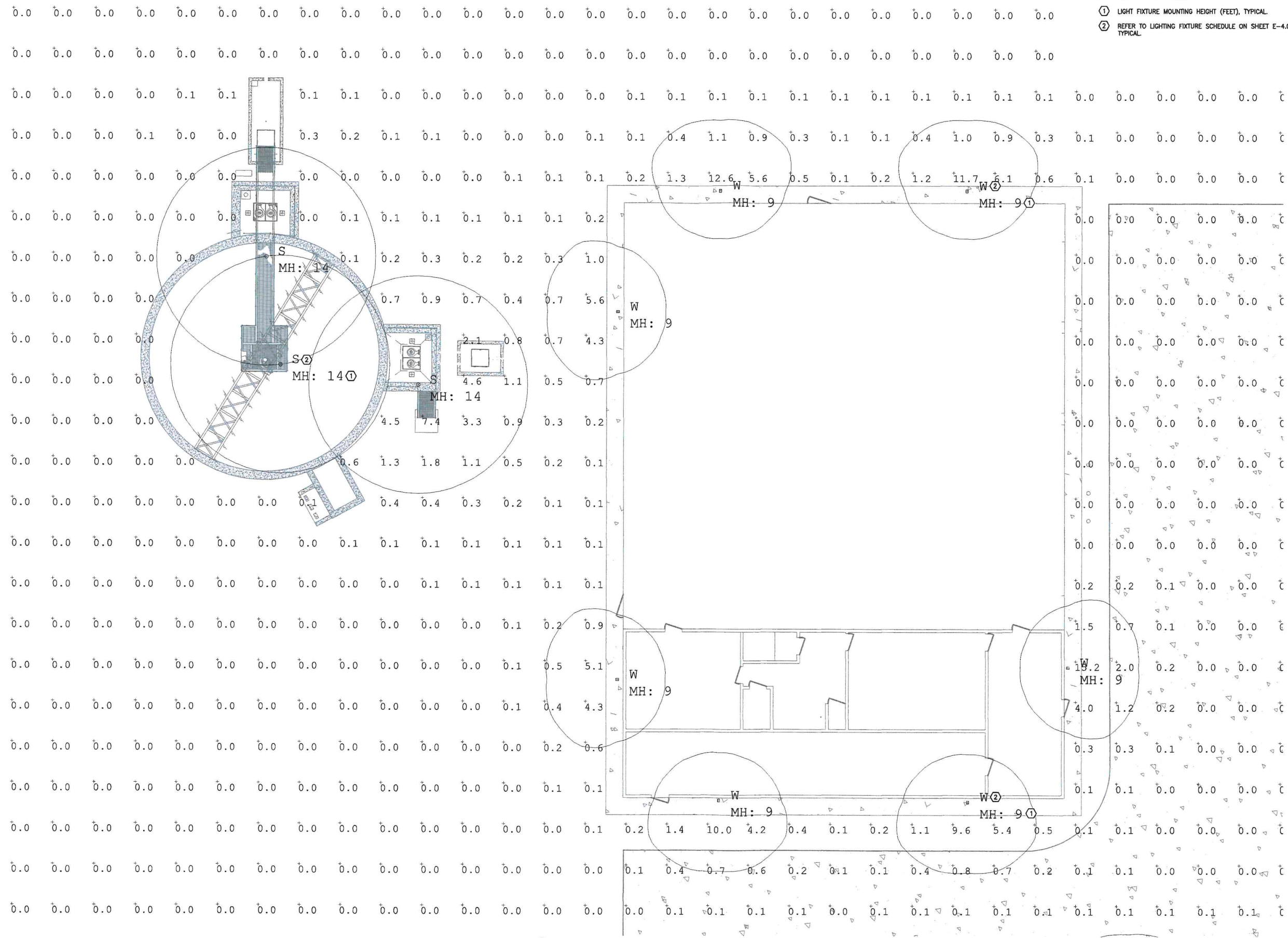


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APPROVED BY:	
DATE:	
SHEET	L1
OF	24

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REFERENCE NOTES

- ① LIGHT FIXTURE MOUNTING HEIGHT (FEET), TYPICAL.
- ② REFER TO LIGHTING FIXTURE SCHEDULE ON SHEET E-4.00 FOR TYPE AND CONFIGURATION, TYPICAL.



BY	
REVISION	
DATE	
NO.	

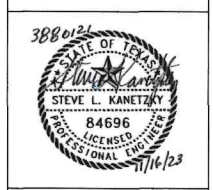
**DESTINATION WAY WTP
JONESTOWN, TEXAS**

ELECTRICAL PHOTOMETRICS SITE PLAN

MALONE WHEELER
SINCE INC. 1995

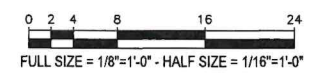
CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT

5113 Southwest Plaza, Suite 260
Austin, Texas 78735
Phone: (512) 899-0601 Fax: (512) 899-0655
Firm Registration No. F-786



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DATE:	
SHEET	L2
OF	24

1 ELECTRICAL PHOTOMETRICS SITE PLAN
E2.13 SCALE: 1/8"=1'-0"



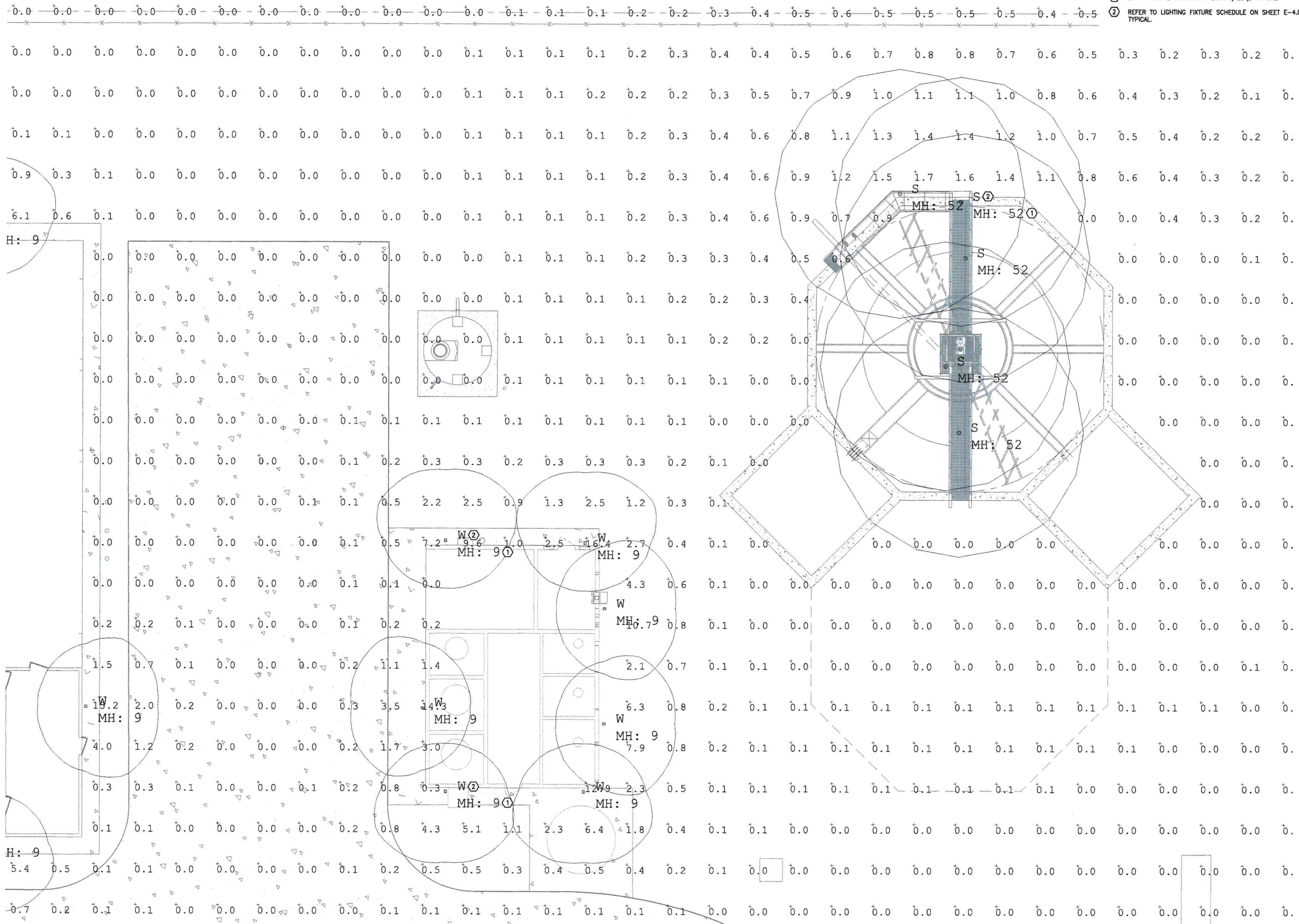
E2.13

SKE

S. Kanetzky
Engineering, LLC.
14425 Falcon Head Blvd.
Building B, Suite 100
Bee Cave, Texas 78738
(512) 326-3380
www.skaneng.com
TBPE Firm No. F-2356
SKE PROJECT # 3880121

REFERENCE NOTES

- ① LIGHT FIXTURE MOUNTING HEIGHT (FEET), TYPICAL.
- ② REFER TO LIGHTING FIXTURE SCHEDULE ON SHEET E-4.00 FOR TYPE AND CONFIGURATION, TYPICAL.



NO.	DATE	REVISION

**DESTINATION WAY WTP
JONESTOWN, TEXAS**

ELECTRICAL PHOTOMETRICS SITE PLAN



CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT

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Bee Cave, Texas 78738
Phone: (512) 899-0401, Fax: (512) 899-0455
Firm Registration No. F-786

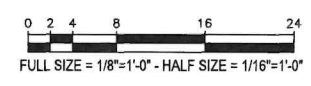


SKE

S. Kanetzky
Engineering, LLC.
14425 Falcon Head Blvd.
Building B, Suite 100
Bee Cave, Texas 78738
(512) 326-3380
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TBPE Firm No. F-2356
SKE PROJECT # 3880124

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DATE:

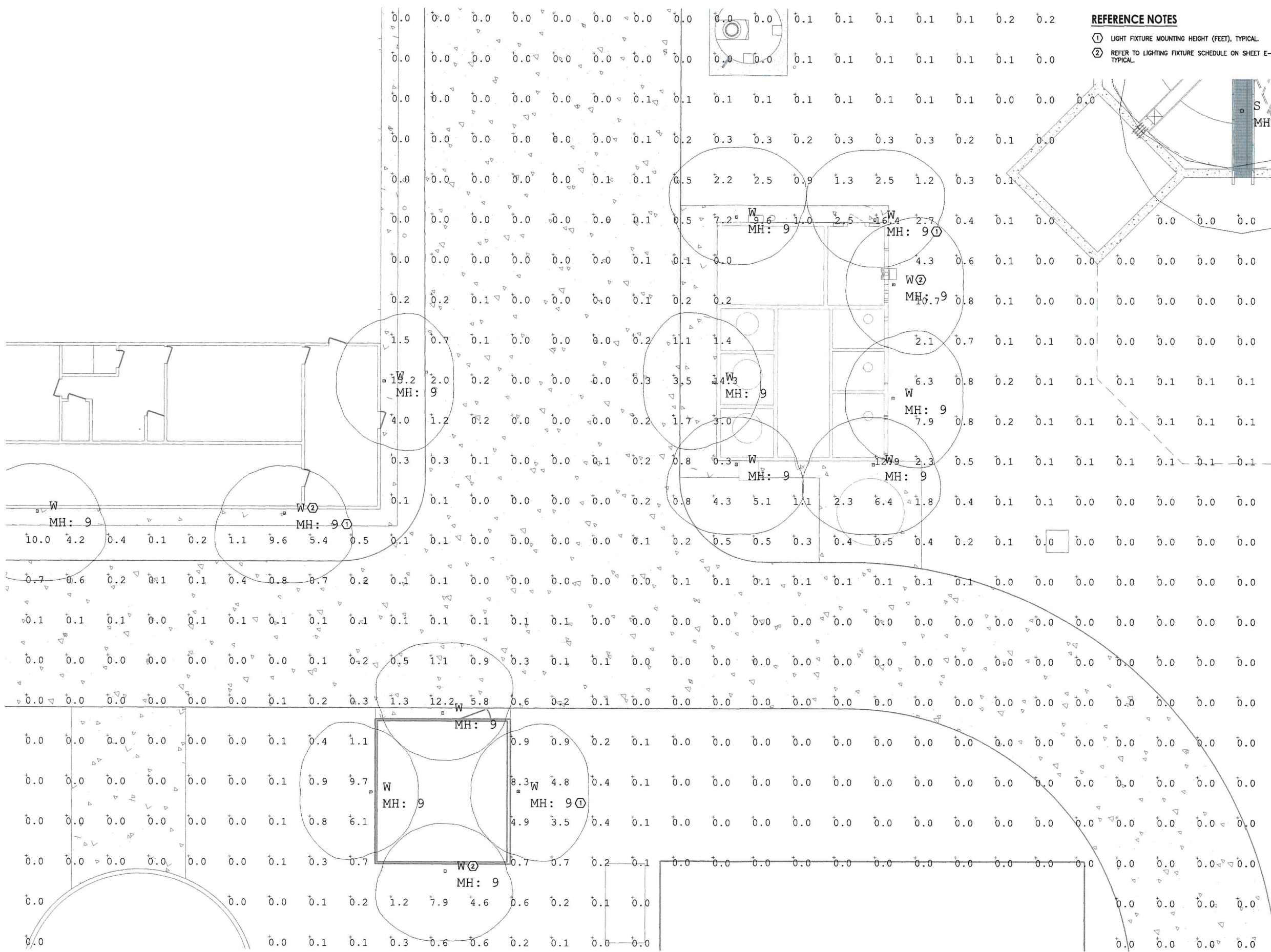
**SHEET L3
OF 24**



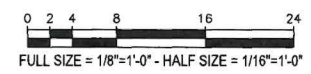
1 ELECTRICAL PHOTOMETRICS SITE PLAN
E2.14 SCALE: 1/8"=1'-0"

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1 ELECTRICAL PHOTOMETRICS SITE PLAN
 E2.15 SCALE: 1/8"=1'-0"



E2.15

SKE
 S. Kanetzky
 Engineering, LLC.
 14425 Falcon Head Blvd.
 Building B, Suite 100
 Bee Cave, Texas 78738
 (512) 326-3380
 www.skaneng.com
 TBPE Firm No. F-2356
 SKE PROJECT # 3880121

BY	
REVISION	
DATE	
NO.	
DESTINATION WAY WTP JONESTOWN, TEXAS	
ELECTRICAL PHOTOMETRICS SITE PLAN	
MALONE ★ WHEELER SINCE INC. 1993	
<small>CIVIL ENGINEERING • DEVELOPMENT CONSULTING • PROJECT MANAGEMENT</small> 5113 Southwest Pkwy, Suite 240 Austin, Texas 78735 Phone: (512) 899-0601 Fax: (512) 899-0655 Firm Registration No. F-786	
DESIGN BY:	
CHECKED BY:	
APPROVED BY:	
DATE:	
SHEET	L4
OF	24

Notice of Public Hearing

Notice is hereby given that the City of Jonestown Planning and Zoning Commission and City Council will hold public hearings to receive citizen input and consider action on the following:

Site Development Plan: Request by Jonestown Water Supply Corporation for approval of a site development plan to construct a water treatment plant owned and operated by Jonestown Water Supply Corporation to be located at 4900 Destination Way, Property ID: 953918, Lot 1, Block A, Jonestown Water Supply Corporation, Jonestown, Texas.

The public hearing before the Planning and Zoning Commission will be held on Thursday, January 4, 2024, at 6:30 p.m. The public hearing before the City Council will be held on Thursday, January 11, 2024, at 6:30 p.m. Both public hearings will be held at the City of Jonestown City Council Chamber, 18649 FM 1431, Suite 3A, Jonestown, Texas.

Information concerning these requests are available for viewing at Jonestown City Hall, 18649 FM 1431, Suite 4-A, during the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday. You may call 512-267-0359 or e-mail cjolly@jonestowntx.gov for more information.